



North Ayrshire Council
Comhairle Siorrachd Àir a Tuath

Local Review Body

A meeting of the **Local Review Body** of North Ayrshire Council will be held remotely on **Wednesday, 29 September 2021** at **14:15** to consider the undernoted business.

Arrangements in Terms of COVID-19

In light of the current COVID-19 pandemic, this meeting will be held remotely in accordance with the provisions of the Local Government (Scotland) Act 2003. Where possible, the meeting will be live-streamed and available to view at <https://north-ayrshire.public-i.tv/core/portal/home>. In the event that live-streaming is not possible, a recording of the meeting will instead be available to view at this location.

1 Declarations of Interest

Members are requested to give notice of any declarations of interest in respect of items of business on the Agenda.

2 Minutes

The accuracy of the Minutes of meeting of the Local Review Body held on 19 May 2021 will be confirmed and the Minutes signed in accordance with Paragraph 7 (1) of Schedule 7 of the Local Government (Scotland) Act 1973 (copy enclosed).

3 Notice of Review: 21/00293 - 8 Gray Crescent, Irvine

Submit report by the Head of Democratic Services on a Notice of Review by the applicant in respect of a planning application refused by officers under delegated powers (copy enclosed).

4 Notice of Review: 21/00419/PP 33 Blairlands Drive, Dalry

Submit report by the Head of Democratic Services on a Notice of Review by the applicant in respect of a planning application refused by officers under delegated powers (copy enclosed).

5 **Urgent Items**

Any other items which the Chair considers to be urgent.

Webcasting - Virtual Meeting

Please note: this meeting may be recorded/live-streamed to the Council's internet site, where it will be capable of repeated viewing. At the start of the meeting, the Provost/Chair will confirm if all or part of the meeting is being recorded/live-streamed.

You should be aware that the Council is a Data Controller under the Data Protection Act 2018. Data collected during the webcast will be retained in accordance with the Council's published policy, including, but not limited to, for the purpose of keeping historical records and making those records available via the Council's internet site.

If you are participating in this meeting by invitation, you are consenting to being filmed and consenting to the use and storage of those images and sound recordings and any information pertaining to you contained in the them live-streaming/recording or training purposes and for the purpose of keeping historical records and making those records available to the public. If you do not wish to participate in a recording, you should leave the 'virtual meeting'. This will constitute your revocation of consent.

If you have any queries regarding this, please contact dataprotectionofficer@north-ayrshire.gov.uk.

Local Review Body Sederunt

Tom Marshall (Chair)
Timothy Billings (Vice-Chair)
Robert Barr
Ian Clarkson
Robert Foster
Christina Larsen
Shaun Macaulay
Ellen McMaster
Ronnie McNicol
Donald Reid

Chair:

Apologies:

Attending:

At a Meeting of the Local Review Body of North Ayrshire Council at 3.10 p.m. involving participation by remote electronic means.

Present

Tom Marshall, Timothy Billings, Robert Barr, Ian Clarkson, Robert Foster, Christina Larsen, Shaun Macaulay, Ellen McMaster, Ronnie McNicol and Donald Reid.

In Attendance

I. Davies, Planning Adviser to the LRB, L. Dempster, Technician, K. Gee, Technician (Place); A. Craig, Legal Adviser to the LRB (Legal Services); and A. Little, C. Stewart and H. Clancy, Committee Services Officers (Chief Executive's Service).

Chair

Councillor Marshall in the Chair.

1. Declarations of Interest

There were no declarations of interest by Members in terms of Standing Order 10 and Section 5 of the Code of Conduct for Councillors.

2. Minutes

The Minutes of the meeting of the Local Review Body held on 24 March 2021 were confirmed and the Minutes signed in accordance with Paragraph 7 (1) of Schedule 7 of the Local Government (Scotland) Act 1973.

3. Notice of Review: 20/00976/PP – Site adjacent to Graze Restaurant, 1 – 5 Crossroads, Dalry

Submitted report by the Head of Service (Democratic Services) on a Notice of Review submitted by the applicant in respect of a condition applied to a planning permission granted by officers under delegated powers

The Notice of Review documentation, Planning Officer's Report of Handling, Location Plan, Planning decision notice, further representations by interested parties and the applicant's response to the further representations were provided as appendices to the report.

The Planning Adviser to the Local Review Body summarised the Notice of Review submitted by the applicant, the Report of Handling submitted by the appointed officer, the representations received and policies affecting the application. Photographs and plans of the site were displayed.

The Local Review Body unanimously agreed that enough information had been provided to determine the review request.

Councillor McNicol seconded by Councillor McMaster, moved that the Local Review Body uphold the officer's decision and retain condition 6 of the planning permission.

There being no amendment the motion was declared carried.

The Meeting ended at 3.25 p.m.

NORTH AYRSHIRE COUNCIL

29 September 2021

Local Review Body

Title: Notice of Review: 21/00293 - 8 Gray Crescent, Irvine

Purpose: To submit, for consideration of the Local Review Body, a Notice of Review by the applicant in respect of a planning application refused by officers under delegated powers.

Recommendation: That the Local Review Body considers the Notice of Review.

1. Executive Summary

1.1 The Town and Country Planning (Scotland) Act 1997, as amended by the Planning (Scotland) Act 2006, provides for certain categories of planning application for "local" developments to be determined by appointed officers under delegated powers. Where such an application is refused, granted subject to conditions or not determined within the prescribed period of 2 months, the applicant may submit a Notice of Review to require the Planning Authority to review the case. Notices of Review in relation to refusals must be submitted within 3 months of the date of the Decision Notice.

2. Background

2.1 A Notice of Review was submitted in respect of Planning Application 21/00293 - 8 Gray Crescent, Irvine for the erection of a 2 store extension to the south side elevation and single storey extension to the north side elevation of the detached dwelling house at 8 Gray Crescent, Irvine.

2.2 The application was refused by officers for the reasons detailed in the Decision Notice.

2.3 The following related documents are set out in the appendices to the report: -

Appendix 1 - Notice of Review documentation;

Appendix 2 - Report of Handling;

Appendix 3 - Location Plan; and

Appendix 4 - Planning Decision Notice;

3. Proposals

3.1 The Local Review Body is invited to consider the Notice of Review.

4. Implications/Socio-economic Duty

Financial

4.1 None arising from the recommendation of this report.

Human Resources

4.2 None arising from the recommendation of this report.

Legal

4.3 The Notice of Review requires to be considered in terms of the Town and Country Planning (Scotland) Act 1997, as amended by the Planning (Scotland) Act 2006, and the Town and Country Planning (Schemes of Delegation and Local Review Procedure) (Scotland) Regulations 2013.

Equality/Socio-economic

4.4 None arising from the recommendation of this report.

Environmental and Sustainability

4.5 None arising from the recommendation of this report.

Key Priorities

4.6 None arising from the recommendation of this report.

Community Benefits

4.7 None arising from the recommendation of this report.

5. Consultation

5.1 Interested parties (both objectors to the planning application and statutory consultees) were invited to submit representations in terms of the Notice of Review and none were received.

Craig Hatton
Chief Executive

For further information please contact **Angela Little, Committee Services Officer**, on **01294 324132**.

Background Papers

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NOTICE OF REVIEW

UNDER SECTION 43A(8) OF THE TOWN AND COUNTRY PLANNING (SCOTLAND) ACT 1997 (AS AMENDED)
IN RESPECT OF DECISIONS ON LOCAL DEVELOPMENTS

THE TOWN AND COUNTRY PLANNING (SCHEMES OF DELEGATION AND LOCAL REVIEW PROCEDURE)
(SCOTLAND) REGULATIONS 2008

THE TOWN AND COUNTRY PLANNING (APPEALS) (SCOTLAND) REGULATIONS 2008

**IMPORTANT: Please read and follow the guidance notes provided when completing this form.
Failure to supply all the relevant information could invalidate your notice of review.**

Use BLOCK CAPITALS if completing in manuscript

Applicant(s)

Name

Address

Postcode

Contact Telephone 1

Contact Telephone 2

Fax No

E-mail*

Agent (if any)

Name

Address

Postcode

Contact Telephone 1

Contact Telephone 2

Fax No

E-mail*

Mark this box to confirm all contact should be
through this representative:

* Do you agree to correspondence regarding your review being sent by e-mail?

Yes No

Planning authority

Planning authority's application reference number

Site address

Description of proposed
development

Date of application

Date of decision (if any)

Note: This notice must be served on the planning authority within three months of the date of the decision notice or from the date of expiry of the period allowed for determining the application.

Nature of application

- 1. Application for planning permission (including householder application)
- 2. Application for planning permission in principle
- 3. Further application (including development that has not yet commenced and where a time limit has been imposed; renewal of planning permission; and/or modification, variation or removal of a planning condition)
- 4. Application for approval of matters specified in conditions

Reasons for seeking review

- 1. Refusal of application by appointed officer
- 2. Failure by appointed officer to determine the application within the period allowed for determination of the application
- 3. Conditions imposed on consent by appointed officer

Review procedure

The Local Review Body will decide on the procedure to be used to determine your review and may at any time during the review process require that further information or representations be made to enable them to determine the review. Further information may be required by one or a combination of procedures, such as: written submissions; the holding of one or more hearing sessions and/or inspecting the land which is the subject of the review case.

Please indicate what procedure (or combination of procedures) you think is most appropriate for the handling of your review. You may tick more than one box if you wish the review to be conducted by a combination of procedures.

- 1. Further written submissions
- 2. One or more hearing sessions
- 3. Site inspection
- 4. Assessment of review documents only, with no further procedure

If you have marked box 1 or 2, please explain here which of the matters (as set out in your statement below) you believe ought to be subject of that procedure, and why you consider further submissions or a hearing are necessary:

I have asked for a meeting with the planning department to discuss alternatives but have only received the reasons for refusal.
 I dont' think that the changes due to the pandemic have been taken into consideration, for example both my wife and I have been working from home for long periods.
 I have discussed the plans with my neighbours and have not had any negative comments.
 I believe the 2 storey extension on the South elevation is the main factor for refusal as it has been suggested by Planning that a one storey extension would be more acceptable
 and I will explain further on my argument for this to be accepted.

Site inspection

In the event that the Local Review Body decides to inspect the review site, in your opinion:

- | | Yes | No |
|--|-------------------------------------|--------------------------|
| 1. Can the site be viewed entirely from public land? | <input type="checkbox"/> | <input type="checkbox"/> |
| 2. Is it possible for the site to be accessed safely, and without barriers to entry? | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

If there are reasons why you think the Local Review Body would be unable to undertake an unaccompanied site inspection, please explain here:

Statement

You must state, in full, why you are seeking a review on your application. Your statement must set out all matters you consider require to be taken into account in determining your review. Note: You may not have a further opportunity to add to your statement of review at a later date. It is therefore essential that you submit with your notice of review, all necessary information and evidence that you rely on and wish the Local Review Body to consider as part of your review.

If the Local Review Body issues a notice requesting further information from any other person or body, you will have a period of 14 days in which to comment on any additional matter which has been raised by that person or body.

State here the reasons for your notice of review and all matters you wish to raise. If necessary, this can be continued or provided in full in a separate document. You may also submit additional documentation with this form.

The refusal is based on the proposal being 'contrary to the aims of strategic policy 2 (Placemaking) of the adopted North Ayrshire Local Development plan (LDP) in that their siting, design and proportions would be out of character with the original design and scale of the existing dwellinghouse and neighbouring properties within the street, all to the detriment of the character and amenity of the area'.

The proposed design is a contemporary design that creates a sense of identity in line with the 'distinctive' quality of strategic policy 2. This quality states ' the proposal draws upon the positive characteristics of the surrounding area including landscapes, topography, ecology, skylines, spaces and scales, street and building forms, and materials to create places with a sense of identity'.
The design incorporates many aspects of today's modern architectural designs.

It has also been suggested to me by the Assistant Planning Officer that the gable end design at right angles to the existing building are not acceptable. I have attached a file showing bungalows in very close proximity (in the same street) that have gable end extensions. The gable end design was chosen as the pitched roof is in keeping with the original dwellinghouse rather than a flat roof extension. There is an example of a house in Carson drive with both side elevation extensions that emphasises this point.

The reasons given for the extensions include, both my wife and I working from home much more since the start of the pandemic and we have grandchildren of both genders who are now at an age where they need separate bedrooms. I don't believe these reasons have been given enough consideration.

The houses in Gray Crescent and Carson Drive are around 45 years old therefore are now at a stage where the fabric of the buildings require a high level of maintenance.

Feedback from my neighbours has been very positive, my immediate neighbours were consulted before the application was put forward.

Have you raised any matters which were not before the appointed officer at the time the determination on your application was made?

Yes No

If yes, you should explain in the box below, why you are raising new material, why it was not raised with the appointed officer before your application was determined and why you consider it should now be considered in your review.

The evidence of existing gable end extensions in nearby properties was not included in the original planning application as I did not know the gable end design was an issue at that point.

List of documents and evidence

Please provide a list of all supporting documents, materials and evidence which you wish to submit with your notice of review and intend to rely on in support of your review.

Copy of the proposed extensions
Supporting evidence of existing gable end extensions and an example of a similar type house side elevation extensions

Note: The planning authority will make a copy of the notice of review, the review documents and any notice of the procedure of the review available for inspection at an office of the planning authority until such time as the review is determined. It may also be available on the planning authority website.

Checklist

Please mark the appropriate boxes to confirm you have provided all supporting documents and evidence relevant to your review:

- Full completion of all parts of this form
- Statement of your reasons for requiring a review
- All documents, materials and evidence which you intend to rely on (e.g. plans and drawings or other documents) which are now the subject of this review.

Note: Where the review relates to a further application e.g. renewal of planning permission or modification, variation or removal of a planning condition or where it relates to an application for approval of matters specified in conditions, it is advisable to provide the application reference number, approved plans and decision notice from that earlier consent.

Declaration

I the applicant/agent delete as appropriate hereby serve notice on the planning authority to review the application as set out on this form and in the supporting documents.

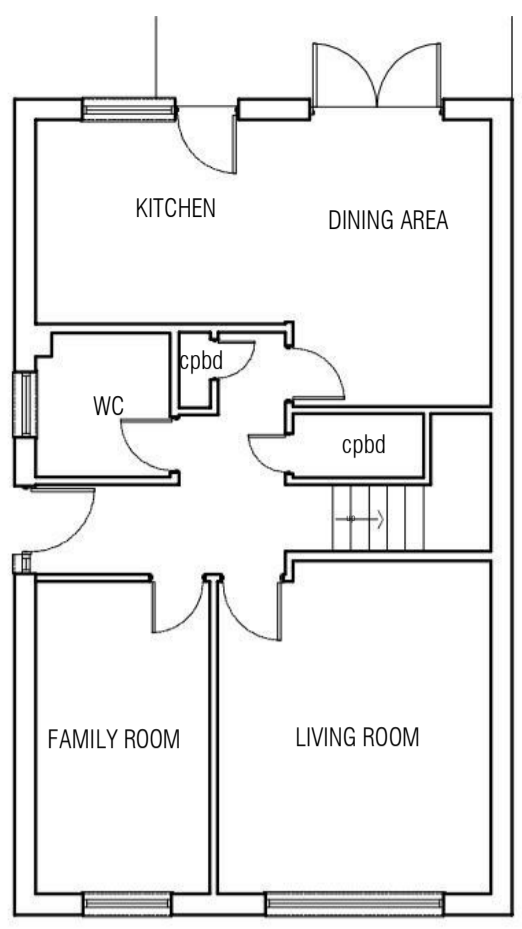
Signed



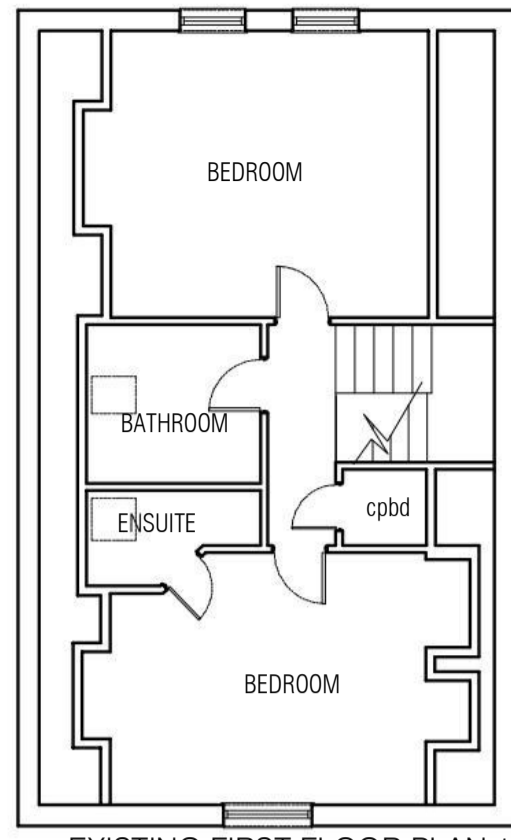
Date

19/08/2021

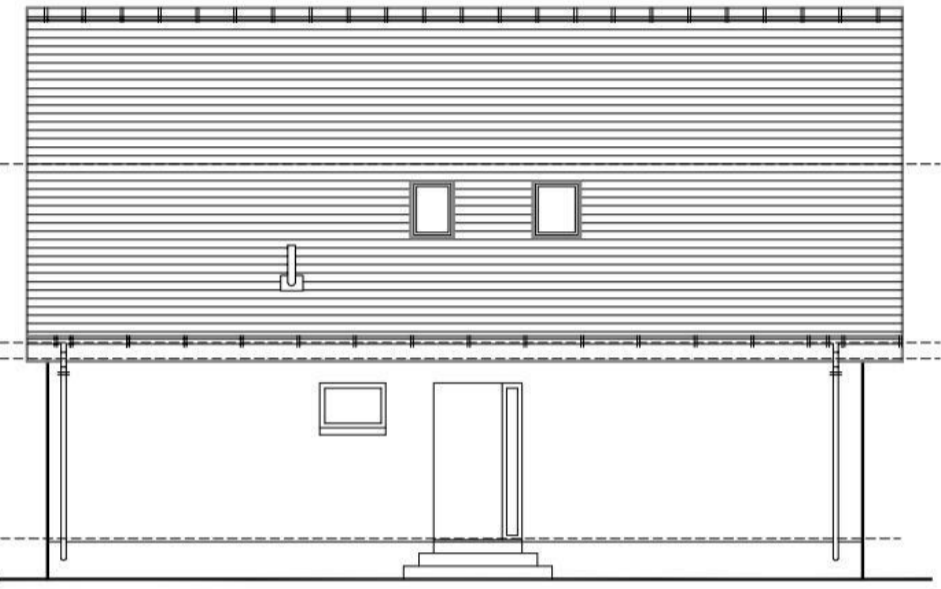
For further details of our online privacy policy please go to:-
<https://www.north-ayrshire.gov.uk/planning-and-building-standards/online-planning-application-privacy-policy.aspx>



EXISTING GROUND FLOOR PLAN 1:100



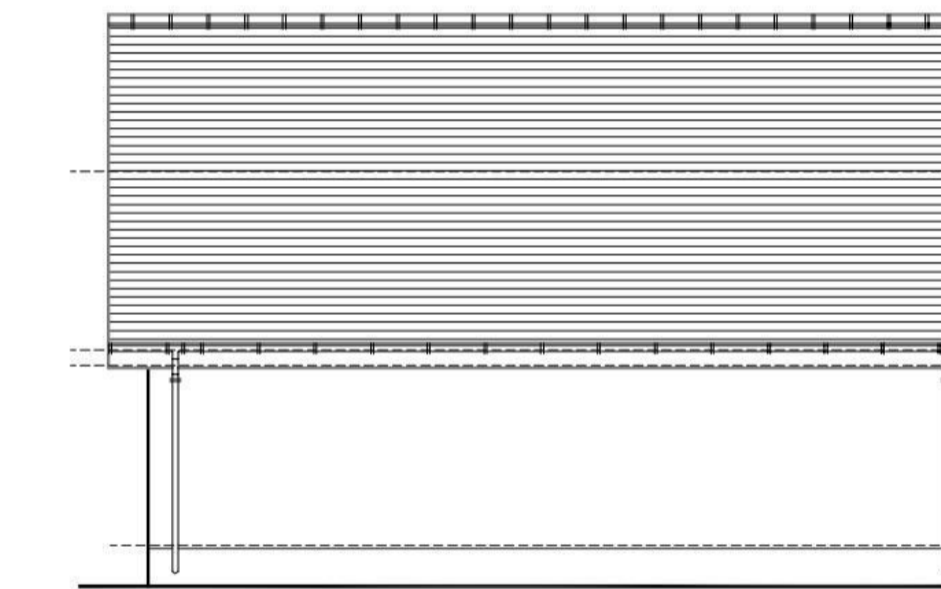
EXISTING FIRST FLOOR PLAN 1:100



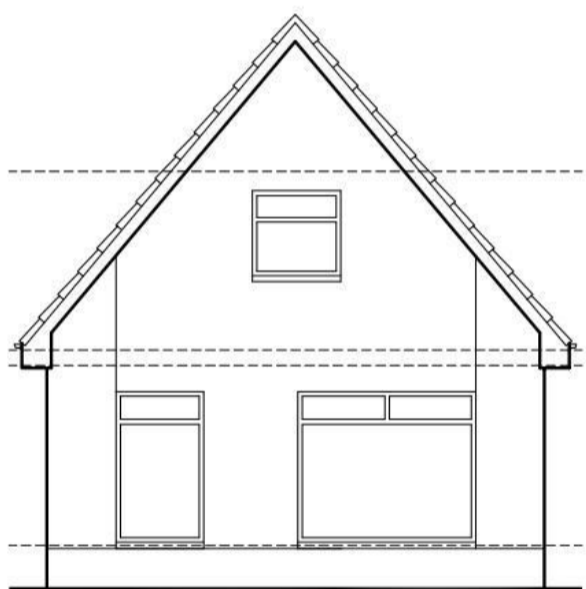
EXISTING SIDE ELEVATION 1:100



EXISTING REAR ELEVATION 1:100



EXISTING SIDE ELEVATION 1:100



EXISTING FRONT ELEVATION 1:100

ELECTRICAL LEGEND

☑ LIGHT SWITCH	⊕ PENDANT LIGHT
⚡ TWIN 13A POWER POINT	☒ MAINS OPERATED SMOKE ALARM
⊖ EXTRACT FAN	⚡ FUSEBOX
⚡ PULL CHORD LIGHT SWITCH	☑ PHONE POINT
⊖ DOWNLIGHTER	⊖ WALL LIGHT
⚡ TV POINT	☒ HEAT DETECTOR
☒ CARBON MONOXIDE MONITOR	

Electrical layout indicative only, final position of fixtures and fittings to clients specification.

Existing walls, doors stairs etc shown dotted to be carefully demolished by hand in accordance with BS 6187: 2011 and HASAW Act 1974. All materials to be removed from site to a licensed tip. All foundations to be grubbed up where applicable. The contractor to ensure the structural integrity and stability of the building at all times during downmakings and to provide adequate temporary supports. Make good all finishes on completion of works. Beams over slapping to be as per structural engineer's details and be sheathed with 2 layers of 12.5mm plasterboard, laid crossbonded with all joints taped and filled. Minimum height to the underside of the beams to be 2100mm. New precast concrete cill on a dpc and a qvc double glazed window unit to match specification of windows. Openings in existing external walls to family room and utility room to be formed with 100 x 145mm deep prestressed concrete lintels, type C by Roblesse to both leads, with 150mm minimum end bearing. Existing underlaid reconfigured as shown to accommodate existing gas and electric meters.

Floor level to be continuous from existing building into proposed extension and consist of 22mm moisture resistant T&G chipboard flooring on 150 x 50mm C16 joists at 400mm centres with 150mm thick Kingspan Thermalor TF70 insulation laid between on 25 x 38mm battens. Where span of joists is greater than 2.5m full depth dwangs to be fitted at mid span of joists. Joists to be supported on a 100 x 25mm sw wallplate on a dpc onto dwarf wall. Joists to be supported at existing house wall on galvanised mild steel joist hangers on a 150 x 50mm sw bearer fixed to wall at 500mm centres with M12 anchors.

External wall construction to be 19mm render on 100mm common brick / block, 50mm vented cavity and a timber framed inner leaf to be full bubble breather building paper on 9.5mm sheathing grade plywood on 100 x 50mm sw studs at 600mm centres with 70mm Kingspan K12 rigid insulation board between studs and lined lined with 52.5mm Kingspan K18 insulated plasterboard with integral vapour barrier, all joints to be taped and filled. New walls tied to existing with stainless steel wall starter kits and a vertical dpc raggle. External walls enclosed by extension to be strapped and lined with 12.5mm plasterboard with all joints taped and filled.

Internal partitions to be formed with 75 x 50mm sw studs at 600mm centres with a minimum 25mm thick mineral wool insulation (minimum density of 10kg/m³) laid between studs and lined both sides with 12.5mm plasterboard (minimum mass per unit area 10kg/m²), all joints taped and filled. Internal partitions to provide a minimum airborne sound insulation level of 43RW. Interior quality timber doors to be installed with the requisite ergonomery and to have a minimum clear opening width of 775mm. Wall between external store and utility room to be formed with 100 x 50mm sw studs at 600mm centres sheathed on store side with 2 layers of 12.5mm plasterboard, laid crossbonded with 2 joints taped and filled, with 70mm Kingspan K12 rigid insulation board between studs and lined lined on utility room side with 72.5mm Kingspan K18 insulated plasterboard with integral vapour barrier, all joints to be taped and filled.

Kitchen to have a sink with the necessary piped supply of hot and cold water, with the cold water supply being taken direct from the rising main. Final kitchen layout to be to clients specifications. A minimum of one cubic metre of storage to be provided within kitchen area. A mechanical extract fan to be installed in kitchen capable of an extraction rate of 60 litres per second and one air change per hour and ducted to a suitable terminal at external air. Kitchen layout to include an unobstructed manoeuvring space of 1.5m x 1.5m square or an ellipse of 1.4m x 1.8m in front of oven. Kitchen to have 6 x 13amp socket outlets, at least three of which should be located above worktop level in addition to any socket outlets provided for floor standing white goods or built in appliances. A heat alarm to be installed within the kitchen in accordance with BS 5446: Part 2: 2003 and ceiling mounted between 25 mm and 150mm below the ceiling.

Toilet to be fitted with the appropriate sanitaryware, and to have the necessary piped supply of hot and cold water. An activity space of 800 x 1100mm to WC, 700 x 800mm to wash hand basin (wall hung) and 800 x 800mm to shower, clear of door swings to be provided within toilet. 38mmØ uPVC waste pipe outlets with 75mm deep seal traps to all appliances and 100mmØ uPVC waste pipe from WC connected to existing drain via 100mmØ waste pipe. Waste pipe to be laid with a minimum fall of 1 in 40. WC and who to be fitted with water efficient fittings and average flush volume not more than 4.5 litres for WC and wash hand basin to have flow rate not more than 6 litres per minute. Sanitary pipework to comply with BS EN 12056-2:2000.

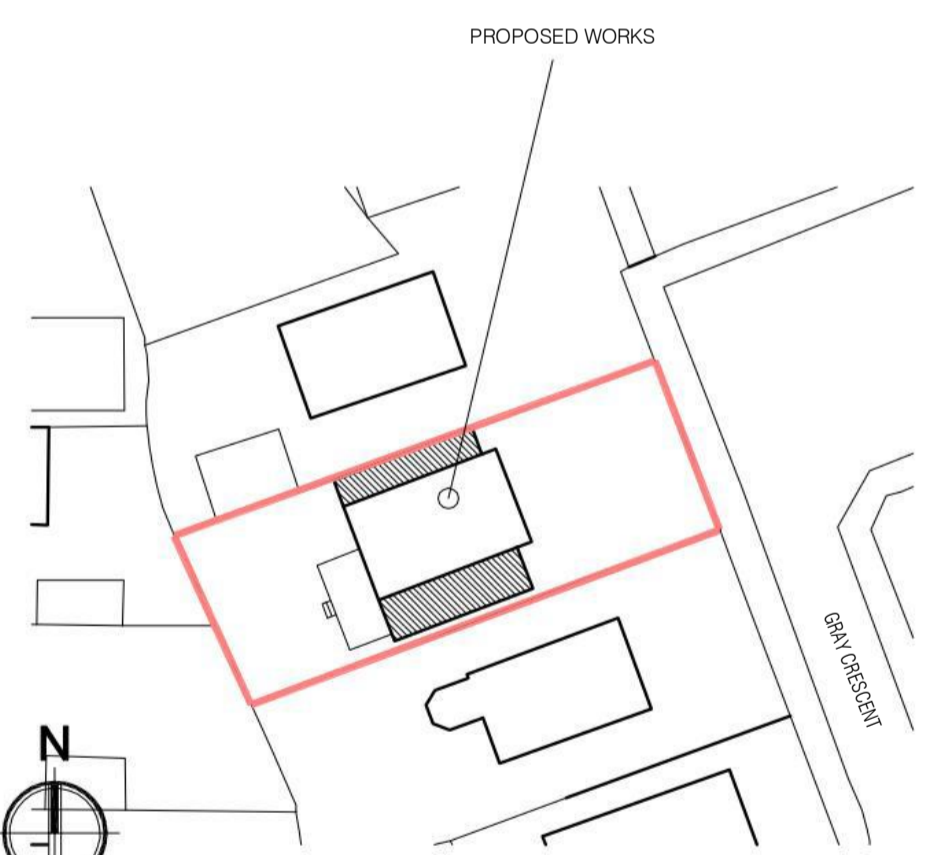
Install new uPVC window units / doors with a U-value of 1.4W/m²K. A trickle vent to be fitted to the head, capable of providing 12000mm³ ventilation. Any glass less than 800mm above FFL to be toughened in accordance with BS 6262. New doors and window units to meet the recommendations for physical security as set out in Section 2 of Secured by Design (ACPO, 2009), or to be in accordance with BS PAS 24: 2007 for doorsets and BS 7950: 1997 for windows. uPVC units to be designed and constructed in accordance with BS 7412: 2007. All external doors to be fitted with laminated glass or a similarly robust glazing material.

New stair to be formed in timber 900mm wide and consist of 13 No risers of 199mm with 225mm going. Minimum headheight at all points in the stairs and landings to be 2000mm measured vertically above the pitchline. No opening on the stairs or balustrades to allow the passage of a sphere of 100mm diameter. Handrail to open side of stair to be 68 x 34mm timber handrail with 25 x 25mm timber balusters at 1000mm centres. Handrail to be 840mm above the pitchline of the stair and 900mm above first floor level.

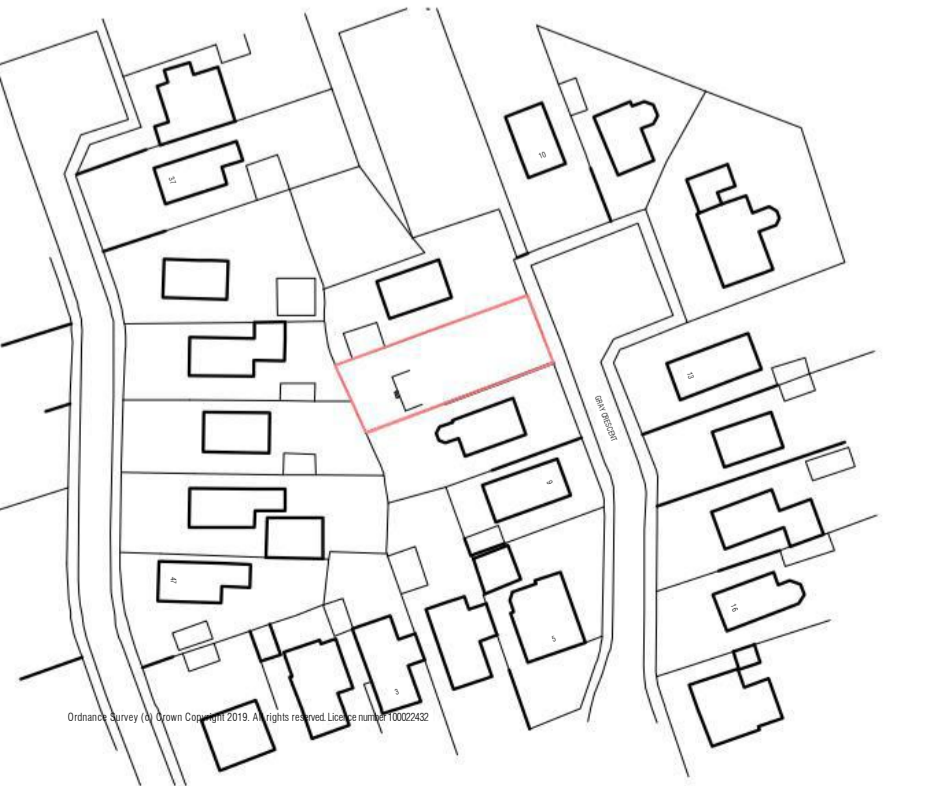
Outlets and controls of electrical fixtures and fittings should be positioned at least 350mm from any internal corner, projecting wall or similar obstruction. Light switches should be positioned between 900 and 1100mm above floor level. Standard switched or unswitched sockets should be positioned at least 400mm above floor level and 150mm above the projecting surface such as a worktop obstruction. Where sockets are concealed, separate switching to be provided in an accessible position to allow appliances to be isolated. When central heating boiler is relocated a carbon monoxide monitor to be installed with 1.3m of the boiler. The detector should comply BS EN 50291-1:2010 and be powered in accordance with this standard and sited in accordance with BS EN 50292:2002. A mains operated smoke alarm with battery back-up to be installed in accordance with BS 5446: Part 1: 2000. Smoke alarm to be no more than 7 metres from living room and kitchen doors and no more than 3 metres from bedroom doors. All smoke alarms to be interconnected. Ceiling mounted alarm to be more than 300mm from walls and light fittings. When central heating boiler is relocated a carbon monoxide monitor to be installed with 1.3m of the boiler. The detector should comply BS EN 50291-1:2010 and be powered in accordance with this standard and sited in accordance with BS EN 50292:2002.

The fire detection and fire alarm system that should alert occupants to the outbreak of fire, a Grade D system should be installed in all dwellings, comprising of:

- at least 1 smoke alarm installed in the principal habitable room
- at least 1 smoke alarm in every circulation space on each storey such as hallways and landings
- at least 1 smoke alarm in every access room serving an inner room
- at least 1 heat alarm installed in every kitchen. The principal habitable room is the most frequented.



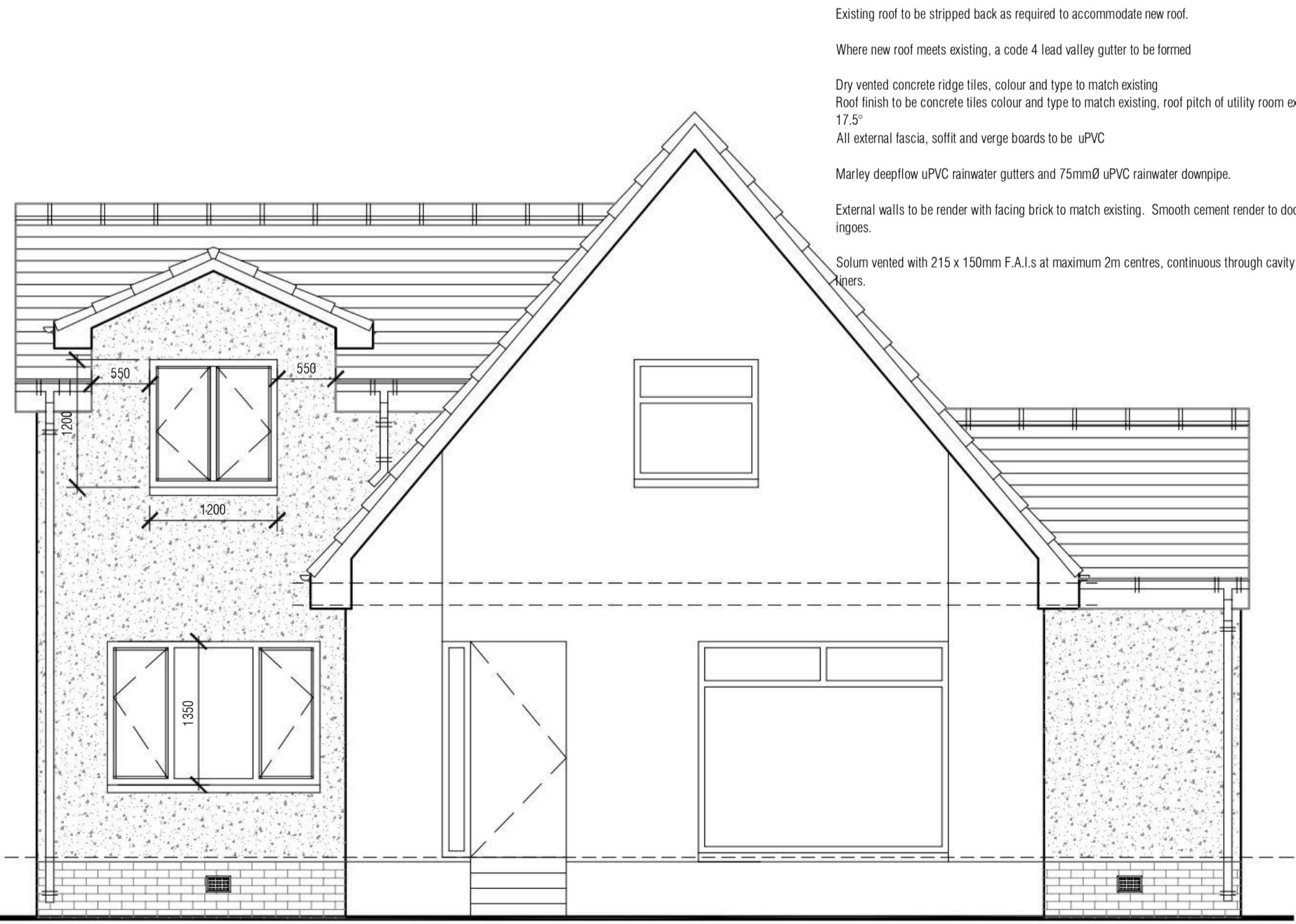
BLOCK PLAN 1:500



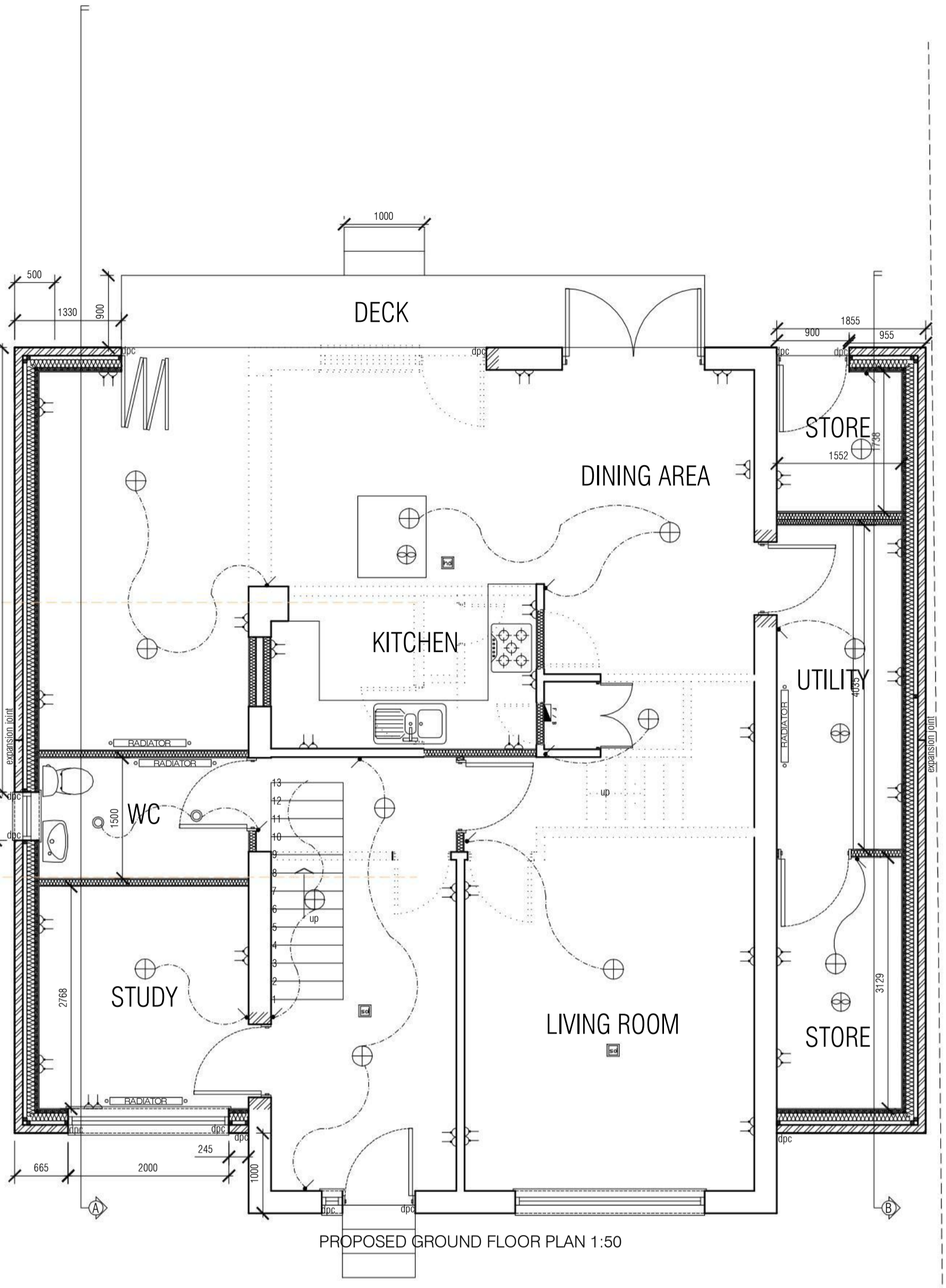
LOCATION PLAN 1:1250

ALL DIMENSIONS IN MILLIMETRES.
ALL MATERIALS AND WORKMANSHIP TO BE THE BEST OF THEIR RELEVANT KIND AND COMPLY WITH ALL BRITISH STANDARDS AND CODES OF PRACTICE.
ALL ELECTRICAL WORK TO COMPLY WITH S.S. 767: 2008 AND TO BE CARRIED OUT BY A SELECT OR INCEIC APPROVED ELECTRICIAN.
ALL WORK TO COMPLY WITH THE BUILDING STANDARDS (SCOTLAND) REGULATIONS 2004 AS AMENDED.
ALL DRAINAGE TO BE TO THE SATISFACTION OF THE BUILDING CONTROL DEPARTMENT.
BUILDING CONTROL TO BE NOTIFIED 24 HOURS BEFORE WORK COMMENCES AND WITHIN 2 WEEKS OF COMPLETION OF THE WORKS.
DO NOT SCALE FROM DRAWINGS, IF IN DOUBT ASK.
ALL DIMENSIONS, LEVELS AND PITCHES TO BE CHECKED ON SITE PRIOR TO THE ORDERING OF ANY MATERIALS, FABRICATION OF ANY UNITS AND COMMENCEMENT OF ANY WORKS.
CONTRACTOR IS DEEMED TO HAVE VISITED THE SITE TO ASCERTAIN THE FULL EXTENT OF THE WORKS.
ALL DRAWINGS AND DESIGNS REMAIN THE PROPERTY OF AYRSHIRE ARCHITECTURE AND MAY NOT BE STORED OR REPRODUCED IN ANY FORM WITHOUT THE PRIOR WRITTEN CONSENT OF AYRSHIRE ARCHITECTURE.
ANY DISCREPANCIES AND MISSING INFORMATION MUST BE IMMEDIATELY NOTIFIED WRITING TO AYRSHIRE ARCHITECTURE.
ALL DRAWINGS MUST BE READ IN ACCORDANCE WITH ALL THE OTHER DRAWINGS PREPARED FOR THIS PROJECT

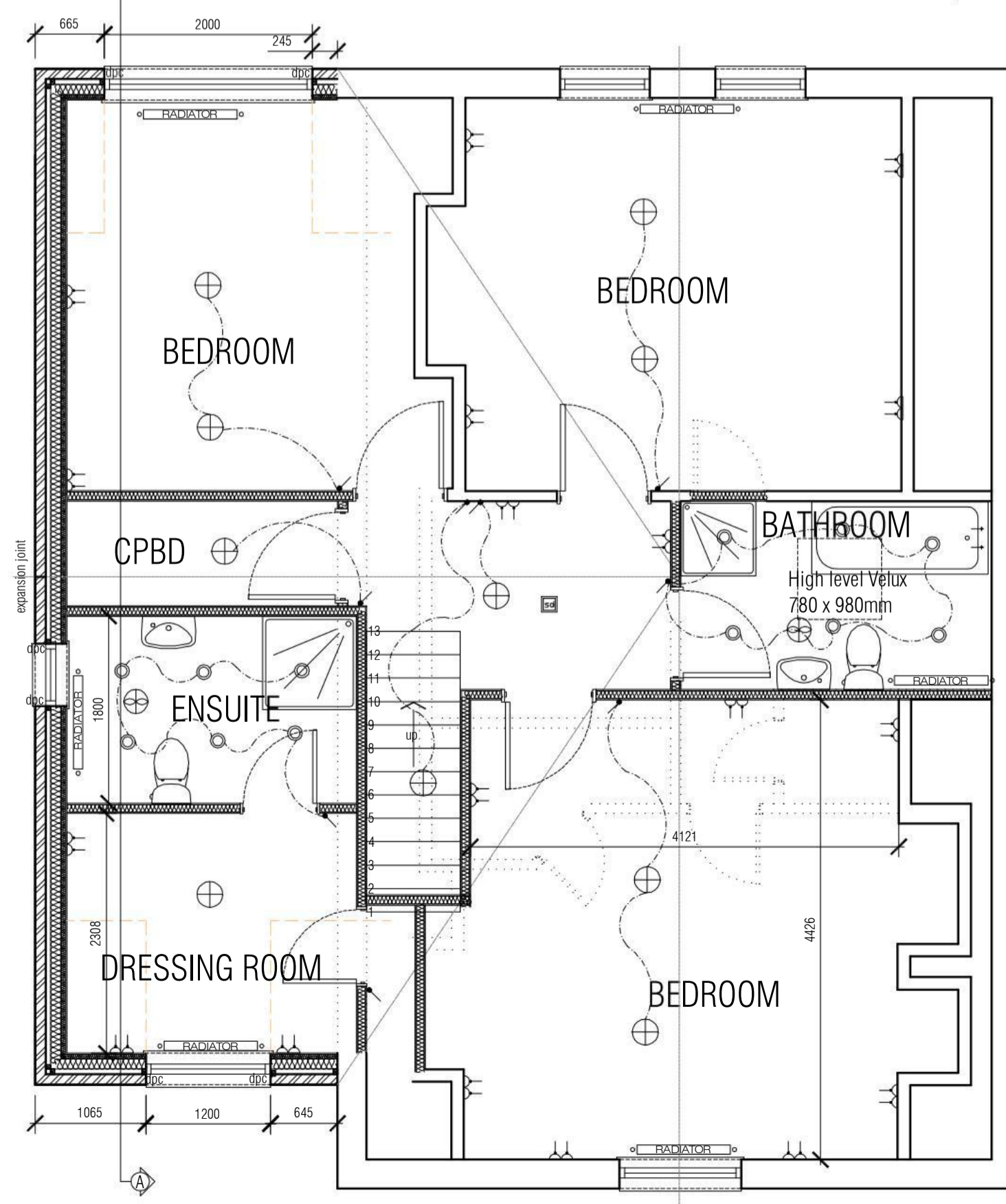
Existing roof to be stripped back as required to accommodate new roof.
Where new roof meets existing, a code 4 lead valley gutter to be formed.
Dry vented concrete ridge tiles, colour and type to match existing.
Roof finish to be concrete tiles colour and type to match existing, roof pitch main extension to be 17.5°. Dormer roofs to be 25°. All external fascia, soffit and verge boards to be uPVC.
Dormer rafters to be clad with code 5 lead.
Marley deepflow uPVC rainwater gutters and 75mmØ uPVC rainwater downpipe.
External walls to be render with facing brick to match existing. Smooth cement render to door and window ingoers.
New door & window units to be uPVC double glazed with a U-value of 1.4W/m²K. Any glass less than 800mm above finished floor level to be toughened to comply with BS 6262. Trickle vents fitted to provide 12000mm³ ventilation. Precast concrete cill on a DPC.
Existing window removed and door and side screen installed.
New steps to be formed with precast concrete paving slabs on a facing brick base course to give 4 No. equal rises of 145mm with 300mm going, adjust ground level locally as required.
Solum vented with 215 x 150mm F.A.I.s at maximum 2m centres, continuous through cavity with fireclay ingoers.



PROPOSED FRONT ELEVATION 1:50

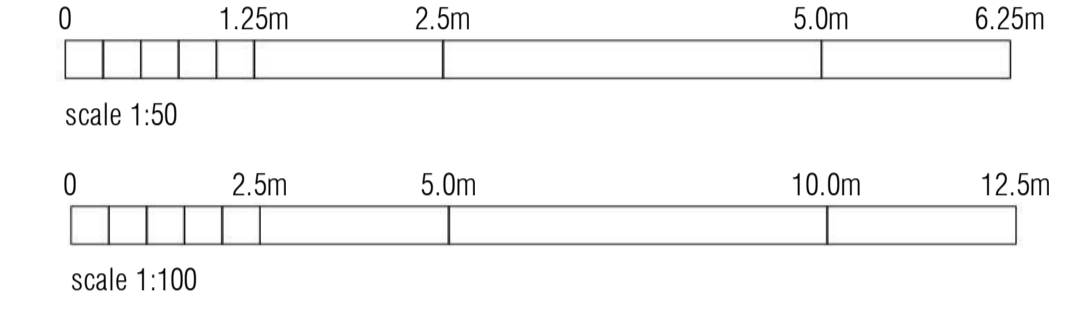


PROPOSED GROUND FLOOR PLAN 1:50



PROPOSED FIRST FLOOR PLAN 1:50

ALL DRAWINGS TO BE READ IN CONJUNCTION WITH THOSE PREPARED BY THE STRUCTURAL ENGINEER WITH THEIR DRAWINGS TAKING PRECEDENCE IN ALL STRUCTURAL MATTERS.



ELECTRICAL LEGEND

☑ LIGHT SWITCH	⊕ PENDANT LIGHT
⚡ TWIN 13A POWER POINT	☒ MAINS OPERATED SMOKE ALARM
⊖ EXTRACT FAN	⚡ FUSEBOX
⚡ PULL CHORD LIGHT SWITCH	☑ PHONE POINT
⊖ DOWNLIGHTER	⊖ WALL LIGHT
⚡ TV POINT	☒ HEAT DETECTOR
☒ CARBON MONOXIDE MONITOR	

Electrical layout indicative only, final position of fixtures and fittings to clients specification.

Existing walls, doors stairs etc shown dotted to be carefully demolished by hand in accordance with BS 6187: 2011 and HASAW Act 1974. All materials to be removed from site to a licensed tip. All foundations to be grubbed up where applicable. The contractor to ensure the structural integrity and stability of the building at all times during downmakings and to provide adequate temporary supports. Make good all finishes on completion of works. Beams over slapping to be as per structural engineer's details and be sheathed with 2 layers of 12.5mm plasterboard, laid crossbonded with all joints taped and filled. Minimum height to the underside of the beams to be 2100mm. Existing French doors in dining room to be carefully removed and opening to be partially built up to receive window with external wall to match main specification. New precast concrete cill on a dpc and a qvc double glazed window unit to match specification of windows. Openings in existing external walls to family room and utility room to be formed with 100 x 145mm deep prestressed concrete lintels, type C by Roblesse to both leads, with 150mm minimum end bearing. Existing underlaid reconfigured as shown to accommodate existing gas and electric meters.

External wall construction to be 19mm render on 100mm common brick / block, 50mm vented cavity and a timber framed inner leaf to be full bubble breather building paper on 9.5mm sheathing grade plywood on 100 x 50mm sw studs at 600mm centres with 70mm Kingspan K12 rigid insulation board between studs and lined lined with 52.5mm Kingspan K18 insulated plasterboard with integral vapour barrier, all joints to be taped and filled. New walls tied to existing with stainless steel wall starter kits and a vertical dpc raggle. External walls enclosed by extension to be strapped and lined with 12.5mm plasterboard with all joints taped and filled.

Internal partitions to be formed with 75 x 50mm sw studs at 600mm centres with a minimum 25mm thick mineral wool insulation (minimum density of 10kg/m³) laid between studs and lined both sides with 12.5mm plasterboard (minimum mass per unit area 10kg/m²), all joints taped and filled. Internal partitions to provide a minimum airborne sound insulation level of 43RW. Interior quality timber doors to be installed with the requisite ergonomery and to have a minimum clear opening width of 775mm.

Trusses to be doubled up either side of Velux opening and 175 x 50mm sw bridle between doubled up rafters. Velux installed with proprietary Velux finishing formed from Velux down to ceiling level with 100 x 50mm sw framing at 600mm centres with 150mm glass-wool insulation between studs, held in place with Netlon mesh and an internal finish of 62.5mm Kingspan K18 insulated plasterboard with integral vapour barrier, all joints to be taped and filled.

Install new uPVC window units / doors with a U-value of 1.4W/m²K. A trickle vent to be fitted to the head, capable of providing 12000mm³ ventilation. Any glass less than 800mm above FFL to be toughened in accordance with BS 6262. New doors and window units to meet the recommendations for physical security as set out in Section 2 of Secured by Design (ACPO, 2009), or to be in accordance with BS PAS 24: 2007 for doorsets and BS 7950: 1997 for windows. uPVC units to be designed and constructed in accordance with BS 7412: 2007. All external doors to be fitted with laminated glass or a similarly robust glazing material. A suitably designed and located emergency escape window to be provided in every upper storey apartment, at a height of not more than 4.5m. Escape windows to have an unobstructed operable area at least 0.33m² and at least 450mm high and 450mm wide. The bottom of the operable area must not be more than 1.1m above floor level. Upper storey windows also to be capable of being safely cleaned from the inside in accordance with Clause 8 of BS 8213: Part 1: 2004.

Shower room and bathroom to be fitted with the appropriate sanitaryware, and to have the necessary piped supply of hot and cold water. A mechanical extract fan to be installed in each room capable of an extraction rate of 15 litres per second and one air change per hour and ducted to a suitable terminal at external air. 38mmØ uPVC waste pipe outlets with 75mm deep seal traps to all appliances and 100mmØ uPVC waste pipe from WC connected to existing drain via 100mmØ waste pipe. Waste pipe to be laid with a minimum fall of 1 in 40. Shower to be fitted with a TRV capable of restricting the water temperature at point of discharge to 48°C. Walls around shower to be lined with ceramic wall tiles. WC and who to be fitted with water efficient fittings and average flush volume not more than 4.5 litres for WC and wash hand basin to have flow rate not more than 6 litres per minute. Sanitary pipework to comply with BS EN 12056-2:2000.

New stair to be formed in timber 900mm wide and consist of 13 No risers of 199mm with 225mm going. Minimum headheight at all points in the stairs and landings to be 2000mm measured vertically above the pitchline. No opening on the stairs or balustrades to allow the passage of a sphere of 100mm diameter. Handrail to open side of stair to be 68 x 34mm timber handrail with 25 x 25mm timber balusters at 1000mm centres. Handrail to be 840mm above the pitchline of the stair and 900mm above first floor level.

Where coombe ceilings are to be formed, 82.5mm thick Kingspan K18 insulated plasterboard with integral vapour barrier, all joints taped and filled, fixed to underside of rafters and 100mm thick Kingspan TPO insulation Board laid between to give a U value of 0.13 W/m²K. A 50mm minimum air gap to be maintained between underside of sarking and top of insulation board.

Outlets and controls of electrical fixtures and fittings should be positioned at least 350mm from any internal corner, projecting wall or similar obstruction. Light switches should be positioned between 900 and 1100mm above floor level. Standard switched or unswitched sockets should be positioned at least 400mm above floor level and 150mm above the projecting surface such as a worktop obstruction. Where sockets are concealed, separate switching to be provided in an accessible position to allow appliances to be isolated. When central heating boiler is relocated a carbon monoxide monitor to be installed with 1.3m of the boiler. The detector should comply BS EN 50291-1:2010 and be powered in accordance with this standard and sited in accordance with BS EN 50292:2002. A mains operated smoke alarm with battery back-up to be installed in accordance with BS 5446: Part 1: 2000. Smoke alarm to be no more than 7 metres from living room and kitchen doors and no more than 3 metres from bedroom doors. All smoke alarms to be interconnected. Ceiling mounted alarm to be more than 300mm from walls and light fittings.

The fire detection and fire alarm system that should alert occupants to the outbreak of fire, a Grade D system should be installed in all dwellings, comprising of:

- at least 1 smoke alarm installed in the principal habitable room
- at least 1 smoke alarm in every circulation space on each storey such as hallways and landings
- at least 1 smoke alarm in every access room serving an inner room
- at least 1 heat alarm installed in every kitchen. The principal habitable room is the most frequented.

PROPOSED EXTENSION
AT
8 GRAY CRESCENT, IRVINE
FOR
MR & MRS PATERSON
MAY 2019
SCALE as shown
DRG No. PATERSON 1911 - 01ab

AYRSHIRE ARCHITECTURE.
Chartered Architectural Technologist.
2 Turnberry Wynd, IRVINE.

07917 272381
ayrshirearchitecture@gmail.com
a May 2020 Elevations revised
b March 2021 Client revisions

Supporting statement for Planning Application

for

**Proposed one and three quarter storey extension side extension and single storey
side extension**

at

**8 Gray Crescent,
Irvine
for**

Mr & Mrs Paterson



Supporting statement for Planning Application

**Proposed one and three quarter storey extension and single storey side extension
8 Gray Crescent, Irvine
March 2021**

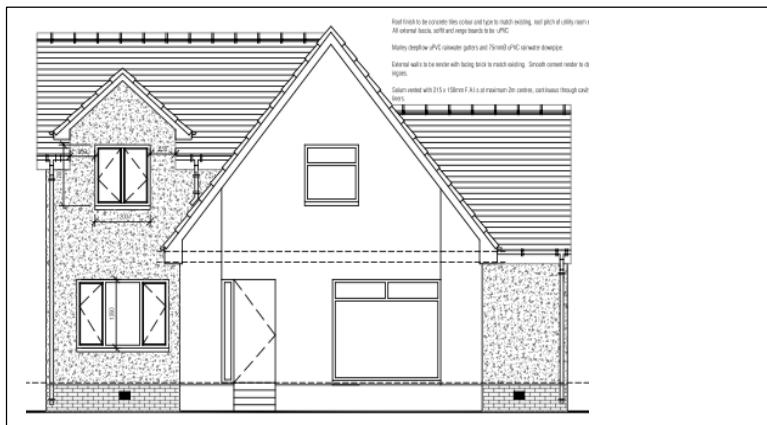
INDEX

1 Introduction

- 1.1** I was instructed by Mr & Mrs Paterson to prepare drawings and submit the necessary applications for a proposed one and three quarter storey side extension along with a single storey extension to the opposite side of the dwelling house.
- 1.2** The property is a detached one and a half storey dwelling house with a pitched tiled roof with facing brick and render finishes to the walls.
- 1.3 Previous applications**

N/19/00765/PP

The application was for the erection of a two storey side extension and single storey side extension to detached dwelling house, including the formation of decking to the rear. The application was registered on 8th October 2019 and refused on 28th January 2020. The proposed front elevation for this application is shown below



The reasons for refusal were that it was considered that the proposal would have an adverse impact on the character and residential amenity of the area. The proposal does not therefore meet the relevant criteria of a successful place as identified in Strategic Policy 2 (Placemaking).

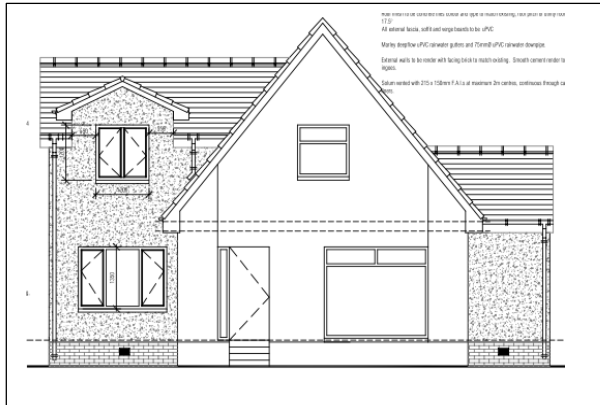
N/20/00786/PP

The application was for the erection of a two storey side extension and single storey side extension to detached dwelling house, including the formation of decking to the rear (revised design). The application was registered on 10th September 2020 and

Supporting statement for Planning Application

Proposed one and three quarter storey extension and single storey side extension
8 Gray Crescent, Irvine
March 2021

refused on 23Rd October 2020. The proposed front elevation for this application is shown below



The reason for refusal was that it is considered that the proposal does not meet the relevant qualities of a successful place as identified in Strategic Policy 2 (Placemaking).

2 Current application

- 2.1 This was new proposal mirrors application N/20/00786/PP in terms of shape and design of the extension, however the rear decking area has been removed.
- 2.2 This application has been submitted because we were outwith the allocated time to lodge an appeal with the Local Review Board over the refusal of N/20/00786/PP.
- 2.3 Reasons in support of design the Strategic policy 2, Placemaking requires projects to have six qualities to create a successful place. Out of those six qualities the two main ones to be considered for this application would be Distinctive and Adaptable.

Distinctive – The proposal draws upon the positive characteristics of the surrounding area including landscapes, topography, ecology, skylines, spaces and street and building forms, and materials to create places with a sense of identity.

Adaptable – The proposal considers the future users of the site and ensures that the design is adaptable to their needs. This includes consideration of future changes of use that may involve a mix of densities, tenures, and typologies to ensure that future diverse but compatible uses can be integrated including the provision of versatile multifunction greenspace.

Supporting statement for Planning Application

Proposed one and three quarter storey extension and single storey side extension
8 Gray Crescent, Irvine
March 2021

I would say that our proposal does draw upon the positive characteristics of the street, building forms and materials. The design mirrors the gable fronted nature of the main house by incorporating this feature in to the two side extensions. The materials chosen to finish the roof and the walls match the existing building. In order to retain the main house. Following on from the first application the roofs were revised to allow the main house to remain the dominant feature. Both extensions were also set back from the front building line of the house for the same reason. If you view the street adjacent to the site there are flat roofed extensions near the property which have less respect for the streetscene and local amenity due to their construction and use of materials. Not having any regard or respect of the original house designs for the area.

The proposed layout was suggested by the clients for the following reasons.

Due to the current situation with the Covid19 pandemic it has been necessary for both Mr & Mrs Paterson to work from home. To do this satisfactorily at the moment the small room at the front of the house has been utilised. The clients have a number of grandchildren, two of them regularly stay with them as their mother is a single parent. They are of different genders and are now at an age where they require separate bedrooms. The current layout of the house does not allow any scope to facilitate this, hence the applications which have been submitted.

These allow for the use of the house to be adaptable for their current needs and for those of future owners.

3 Summary

- 3.1** We have designed and adapted the scheme to comply with the requirements of the current local plan and in particular Strategic Policy 2 and taken into consideration the clients needs now and in the future and as such would like the application to be approved.

Supporting statement for Planning Application

**Proposed one and three quarter storey extension and single storey side extension
8 Gray Crescent, Irvine
March 2021**

Examples of gable end style extensions on to side elevations of bungalows in Gray Crescent Irvine, within a few hundred metres of 8 Gray Crescent



Example of North and South side elevations of similar house in Carson Drive Irvine, within a few hundred metres of 8 Gray Crescent



REPORT OF HANDLING



North Ayrshire Council
Comhairle Siorrachd Àir a Tuath

Reference No:	21/00293/PP
Proposal:	Erection of 2 storey extension to south side elevation and single storey extension to north side elevation of detached dwelling house
Location:	8 Gray Crescent, Irvine, Ayrshire, KA12 8HS
LDP Allocation:	General Urban Area
LDP Policies:	SP1 - Towns and Villages Objective / Strategic Policy 2 /
Consultations:	None Undertaken
Neighbour Notification:	Neighbour Notification carried out on 30.03.2021 Neighbour Notification expired on 20.04.2021
Advert:	Not Advertised
Previous Applications:	20/00786/PP for Erection of two storey side extension and single storey side extension to detached dwelling house, including the formation of decking to rear (revised design) Application Refused on 23.10.2020 19/00765/PP for Erection of two storey side extension and single storey side extension to detached dwelling house, including the formation of decking to rear Application Refused on 28.01.2020

Appeal History Of Site:

Relevant Development Plan Policies

SP1 - Towns and Villages Objective
Towns and Villages Objective

Our towns and villages are where most of our homes, jobs, community facilities, shops and services are located. We want to continue to support our communities, businesses and protect our natural environment by directing new development to our towns and villages as shown in the Spatial Strategy. Within urban areas (within the settlement boundary), the LDP identifies town centre locations, employment locations and areas of open space. Most of the remaining area within settlements is shown as General Urban Area. Within the General Urban Area, proposals for residential development will accord with the development plan in principle, and

applications will be assessed against the policies of the LDP. New non-residential proposals will be assessed against policies of this LDP that relate to the proposal.

In principle, we will support development proposals within our towns and villages that:

- a) Support the social and economic functions of our town centres by adopting a town centre first principle that directs major new development and investment to town centre locations as a priority including supporting town centre living.
- b) Provide the right new homes in the right places by working alongside the Local Housing Strategy to deliver choice and variety in the housing stock, protecting land for housing development to ensure we address housing need and demand within North Ayrshire and by supporting innovative approaches to improving the volume and speed of housing delivery.
- c) Generate new employment opportunities by identifying a flexible range of business, commercial and industrial areas to meet market demands including those that would support key sector development at Hunterston and i3, Irvine.
- d) Recognise the value of our built and natural environment by embedding placemaking into our decision-making.
- e) Prioritise the re-use of brownfield land over greenfield land by supporting a range of strategic developments that will deliver:
 - o regeneration of vacant and derelict land through its sustainable and productive re-use, particularly at Ardrossan North Shore, harbour and marina areas, Montgomerie Park (Irvine) and Lochshore (Kilbirnie).
 - o regeneration and conservation benefits, including securing the productive re-use of Stoneyholm Mill (Kilbirnie) and supporting the Millport Conservation Area Regeneration Scheme.
- f) Support the delivery of regional partnerships such as the Ayrshire Growth Deal in unlocking the economic potential of the Ayrshire region.

Strategic Policy 2

Placemaking

Our Placemaking policy will ensure we are meeting LOIP priorities to make North Ayrshire safer and healthier by ensuring that all development contributes to making quality places.

The policy also safeguards, and where possible enhances environmental quality through the avoidance of unacceptable adverse environmental or amenity impacts. We expect that all applications for planning permission meet the six qualities of successful places, contained in this policy. This is in addition to establishing the principle of development in accordance with Strategic Policy 1: Spatial Strategy. These detailed criteria are generally not repeated in the detailed policies section of the LDP. They will apply, as appropriate, to all developments.

Six qualities of a successful place

Distinctive

The proposal draws upon the positive characteristics of the surrounding area including landscapes, topography, ecology, skylines, spaces and scales, street and building forms, and materials to create places with a sense of identity.

Welcoming

The proposal considers the future users of the site and helps people to find their way around, for example, by accentuating existing landmarks to create or improve views

(including sea views), locating a distinctive work of art in a notable place or making the most of gateway features to and from the development. It should also ensure that appropriate signage and lighting is used to improve safety and illuminate attractive buildings.

Safe and Pleasant

The proposal creates attractive places by providing a sense of security, including by encouraging activity, considering crime rates, providing a clear distinction between private and public space, creating active frontages and considering the benefits of natural surveillance for streets, paths and open spaces.

The proposal creates a pleasant, positive sense of place by promoting visual quality, encouraging social and economic interaction and activity, and by considering the place before vehicle movement.

The proposal respects the amenity of existing and future users in terms of noise, privacy, sunlight/daylight, smells, vibrations, glare, traffic generation, and parking. The proposal sufficiently investigates and responds to any issues of ground instability.

Adaptable

The proposal considers future users of the site and ensures that the design is adaptable to their needs. This includes consideration of future changes of use that may involve a mix of densities, tenures, and typologies to ensure that future diverse but compatible uses can be integrated including the provision of versatile multi-functional greenspace.

Resource Efficient

The proposal maximises the efficient use of resources. This can be achieved by re-using or sharing existing resources and by minimising their future depletion. This includes consideration of technological and natural means such as flood drainage systems, heat networks, solar gain, renewable energy and waste recycling as well as use of green and blue networks.

Easy to Move Around and Beyond

The proposal considers the connectedness of the site for people before the movement of motor vehicles, by prioritising sustainable and active travel choices, such as walking, cycling and public transport and ensuring layouts reflect likely desire lines, through routes and future expansions.

Description

Planning permission is sought for the erection of a 2-storey extension to the south side elevation and a single storey extension to the north side elevation of a detached dwelling house. This application follows 2 no. previous proposals which were refused in 2020 (refs. 19/00765/PP and 20/00786/PP). The application represents no change to the previous application (ref. 20/00786/PP) in terms of the proposed house extensions, however, the previously proposed decking to the rear of the house has been reduced in size. A supporting statement has also been submitted alongside the application.

The two-storey extension would be sited over part of an existing driveway to the south side of the dwellinghouse and would measure approx. 9.787m x 2.908m on plan, with a footprint of approx. 28.461sqm. The extension would have a side facing

21/00293/PP

gabled roof, measuring approx. 6.748m to the highest point. There would be a wallhead dormer window to both the front and rear elevations. Other proposed openings would include windows to both the front and side of the extension. Bi-fold doors would open onto the reduced proposed timber decking to the rear.

The single storey extension would be sited to the north side of the dwellinghouse on a narrow strip of land located between the existing side elevation and site boundary. It would measure approx. 9.771m x 1.855m on plan, with a footprint of approx. 18.125sqm. The extension would have a side facing gabled roof, measuring approx. 4.818m to the highest point. There would be a timber door to the rear elevation.

Materials would consist of concrete roof tiles, light coloured render and facing brick to the external walls, smooth cement render to door and window ingoes, and UPVC windows and doors. Associated works would include external alterations to the existing dwellinghouse.

The application site is located at 8 Gray Crescent, Irvine. The existing site consists of a 1.5 storey detached dwellinghouse with garden ground to the front and rear of the property. There is a detached single storey garage to the rear of the site. The houses on Gray Crescent comprise of a mix of single storey bungalows and 1.5 storey dwellinghouses, which are characterised by a distinctive steeply pitched front facing gable. There are several examples of single storey extensions to the rear and side of neighbouring properties. Planning permission was refused in 2020 (ref. 19/00795/PP) for a similar proposal for a 2 storey and single storey side extension. Planning permission was subsequently refused later in 2020 (ref. 20/00786/PP) for a revised proposal representing a reduction in the height of both proposed side extensions. This application is a resubmission with no further changes proposed, with the exception of the reduction of the decking to the rear of the house, and the submission of a supporting statement.

The application site is located within the General Urban Area within the settlement boundary of Irvine as identified in the Adopted Local Development Plan (LDP). Therefore, the Towns and Villages Objective of Strategic Policy 1 (Spatial Strategy) applies. All applications for planning permission require to be considered in accordance with Strategic Policy 2 (Placemaking).

Consultations and Representations

Neighbour notification was carried out for this application in accordance with statutory procedures. One comment objecting to the proposal was received in response to the application. The points raised are summarised below:

1. The area is characterised by the variety of bungalows and maisonettes which are offset from one another (therefore not directly looking into properties opposite) and have ample space between the detached buildings. The proposed side extensions (particularly the 2-storey one) will totally obscure existing views of distant trees and skyline.

Response: noted. However, the loss or obscuration of a view is not a material planning consideration. The design merits and amenity impacts of the proposal are considered in the analysis section below.

2. The latest application mentions that "flat roofed extensions near the property have less respect for streetscene and local amenity" but these properties have only 21/00293/PP

erected single extensions of 1-storey, which do not impede views and reduce the space to the same extent as the proposal at 8 Gray Crescent. The proposed side extensions would impair the streetscene and amenity as it would be very evident that there was less space between households on either side and outlook from the rear together with the overall view from Gray Crescent would be of a much wider construction than any neighbouring dwellings.

Response: noted. The design merits and amenity impacts of the proposal are considered in the Analysis section below.

No consultations required to be undertaken.

Analysis

The erection of an extension to a domestic dwelling does not raise any land use policy implications and would be acceptable in principle in terms of the Towns and Villages Objective of Strategic Policy 1 (Spatial Strategy). The application therefore falls to be considered in accordance with Strategic Policy 2 (Placemaking) which identifies certain qualities of a successful place which all applications for planning permission are expected to meet.

The supporting statement submitted alongside the application makes the following points:

- o The design mirrors the gable fronted nature of the main house by incorporating this feature into the two side extensions;
- o The external material finishes match the existing building;
- o The previous reduction in height to both proposed extensions and their set back position from the front building line would allow the main house to remain the dominant feature;
- o There are flat roofed extensions within the immediate vicinity which have less respect for the streetscene and local amenity in terms of their construction, materials, and the original house designs for the neighbourhood.

The supporting statement also refers to the 'adaptable' quality of a successful place as identified in Strategic Policy 2 (Placemaking) in terms of the following:

- o Due to the COVID-19 pandemic the applicants have required to utilise the front room of the house to work from home;
- o The applicants have regular guests that require separate bedrooms and the current layout of the house does not allow any scope to facilitate this;
- o The proposal would enable the house to be adaptable for the existing needs of the applicants and for those of future occupants.

It is considered that the 'distinctive' and 'safe and pleasant' qualities of a successful place as identified in the Placemaking policy are most relevant in this case. However, in light of the above points made in the supporting statement, the 'adaptable' quality will also be considered. It is not considered that the remaining qualities 'resource efficient', 'welcoming', and 'easy to move around and beyond' are particularly relevant to this proposal.

Firstly, in terms of the amenity of existing and future users, the proposed windows and doors would face primarily onto the applicant's own garden ground. Given the existing openings to the dwellinghouse, it is considered that the proposal would

continue to maintain an acceptable level of privacy to neighbouring properties. Similarly, given the orientation of the proposed extensions, there would not be any significant issues in terms of sunlight/daylight. The proposal would result in the loss of part of the existing driveway to the side of the property whilst increasing the number of internal bedrooms to 3. However, is it considered that there would be sufficient space remaining to the front of the property to accommodate 2 vehicles.

Secondly, in terms of siting, design, and external appearance, located to the sides of the dwellinghouse, the extensions would be widely visible from public viewpoints on Gray Crescent. The proposed external material finishes to both extensions would match those of the existing dwellinghouse. However, it is not considered that the proposal draws upon other positive characteristics, such as the building form and scale, of either the parent property or the surrounding housing estate.

It is considered that the large side facing gables to the proposed extensions, particularly that of the 2-storey extension would be out of keeping with the distinctive steeply pitched front facing gable of both the main dwellinghouse and many of the neighbouring properties in the surrounding area. The proposal would undermine the positive sense of identity and character of the surrounding area to which this feature is a common characteristic. Whilst the front facing gable feature of the proposed wallhead dormer is acknowledged, it is not considered that this would offset the above impact.

The supporting statement refers to presence of existing flat roofed single storey extensions to neighbouring properties, which are less complementary to the design and amenity of this residential area. It is recognised that generally flat roofed extensions within public view are not preferable. However, the application requires to be considered on its merits and, as noted above, it is not considered that the proposed extensions, particularly the 2-storey extension, would be complementary to the distinctive design of the main dwellinghouse and similar dwellings within the surrounding area.

There are several examples of single storey bungalows and single storey extensions to the rear and side of neighbouring properties in this housing estate. During and prior to the previous applications for planning permission at the site, the applicant/agent were asked to consider a single storey extension to the side and/or rear of the dwellinghouse as an alternative. It is considered that the more modest form and scale of a single storey extension would be better suited to maintaining the character and sense of identity of both the application site and the surrounding area in terms of the distinctive steeply sloping front facing gables to the 1.5 storey properties and single storey bungalows.

A reduction in the height of both side extensions was proposed as part of the previous application. However, it was not considered that this revision would offset the adverse impact of the proposal and the application was subsequently refused. The applicant/agent have made no further changes as part of this application, with the exception of the reduction of the decking to the rear, which would not be visible from public view and would not represent an extension to the house.

Thirdly, the points made in the supporting statement with regards to the proposal enabling the dwellinghouse to be 'adaptable' to the needs of both the applicants and future occupants are accepted and acknowledged. However, it should also be noted that given the available space to the side and within the rear garden of the dwellinghouse, there are a variety of options available for the future extension of the

dwellinghouse to meet a different households needs and requirements. For example, through the erection of single storey extensions to the side and/or rear of the property, as noted above. Given the commentary above with regards to the inappropriate design of the proposed extensions, it is not considered that the 'adaptability' of the proposal would offset the adverse impacts of the proposals on the amenity of the area.

Overall, it is not considered that the proposal meets the relevant qualities of a successful place as identified in Strategic Policy 2 (Placemaking).

Based on the above observations, the proposal does not comply with the relevant policies of the LDP and there are no other material considerations to indicate otherwise. Therefore, planning permission should be refused.

Decision

Refused

Case Officer - Mr Joe Thompson

Appendix 1 - Drawings relating to decision

Drawing Title	Drawing Reference (if applicable)	Drawing Version (if applicable)
Proposed Elevations	1911 - 02ab	
Location Plan	1911 - loc a	
Existing and Proposed Elevations	911 - 01ab	



TOWN & COUNTRY PLANNING (SCOTLAND) ACT 1997
REFUSED
James H Miller
CHIEF DEVELOPMENT MANAGEMENT OFFICER

PROPOSED EXTENSION
AT
8 GRAY CRESCENT, IRVINE
FOR
MR & MRS PATERSON
MAY 2019
SCALE as shown
DRG No. PATERSON 1911 - loc a

AYRSHIRE ARCHITECTURE.
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North Ayrshire Council
Comhairle Siorrachd Àir a Tuath

Caitriona McAuley : Head Of Service (Economic Development & Regeneration)

No N/21/00293/PP

(Original Application No. N/100185582-003)

REFUSAL OF PLANNING PERMISSION

Type of Application: Local Application

TOWN AND COUNTRY PLANNING (SCOTLAND) ACT, 1997,
AS AMENDED BY THE PLANNING ETC (SCOTLAND) ACT 2006.
TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE) (SCOTLAND) REGULATIONS
2013

To : Mr Allen Paterson
c/o Ayrshire Architecture
2 Turnberry Wynd
Irvine
KA11 4DP

With reference to your application received on 29 March 2021 for planning permission under the above mentioned Acts and Orders for :-

Erection of 2 storey extension to south side elevation and single storey extension to north side elevation of detached dwelling house

at 8 Gray Crescent
Irvine
Ayrshire
KA12 8HS

North Ayrshire Council in exercise of their powers under the above-mentioned Acts and Orders hereby refuse planning permission on the following grounds :-

1. That the proposed two storey and single storey extensions would be contrary to the aims of Strategic Policy 2 (Placemaking) of the adopted North Ayrshire Local Development Plan (LDP) in that their siting, design, and proportions would be out of character with the original design and scale of the existing dwellinghouse and neighbouring properties within the street, all to the detriment of the character and amenity of the area.

Dated this : 21 May 2021



.....
for the North Ayrshire Council

(See accompanying notes)



North Ayrshire Council
Comhairle Siorrachd Àir a Tuath

TOWN AND COUNTRY PLANNING (SCOTLAND) ACT 1997
AS AMENDED BY THE PLANNING ETC (SCOTLAND) ACT 2006.
TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE) (SCOTLAND) REGULATIONS
2013 – REGULATION 28

FORM 2

1. If the applicant is aggrieved by the decision to refuse permission for or approval required by a condition in respect of the proposed development, or to grant permission or approval subject to conditions, the applicant may require the planning authority to review the case under section 43A of the Town and Country Planning (Scotland) Act 1997 within three months from the date of this notice. The notice of review should be addressed to Committee Services, Chief Executive's Department, Cunninghame House, Irvine, North Ayrshire, KA12 8EE.
2. If permission to develop land is refused or granted subject to conditions and the owner of the land claims that the land has become incapable of reasonably beneficial use in its existing state and cannot be rendered capable of reasonably beneficial use by the carrying out of any development which has been or would be permitted, the owner of the land may serve on the planning authority a purchase notice requiring the purchase of the owner of the land's interest in the land in accordance with Part 5 of the Town and Country Planning (Scotland) Act 1997.

NORTH AYRSHIRE COUNCIL

29 September 2021

Local Review Body

Title: Notice of Review: 21/00419/PP 33 Blairlands Drive, Dalry

Purpose: To submit, for consideration of the Local Review Body, a Notice of Review by the applicant in respect of a planning application refused by officers under delegated powers.

Recommendation: That the Local Review Body considers the Notice of Review.

1. Executive Summary

1.1 The Town and Country Planning (Scotland) Act 1997, as amended by the Planning (Scotland) Act 2006, provides for certain categories of planning application for "local" developments to be determined by appointed officers under delegated powers. Where such an application is refused, granted subject to conditions or not determined within the prescribed period of 2 months, the applicant may submit a Notice of Review to require the Planning Authority to review the case. Notices of Review in relation to refusals must be submitted within 3 months of the date of the Decision Notice.

2. Background

2.1 A Notice of Review was submitted in respect of Planning Application 21/00419/PP, 33 Blairlands Drive, Dalry for the erection of an extension to the front of a semi-detached dwelling house at 33 Blairlands Drive, Dalry.

2.2 The application was refused by officers for the reasons detailed in the Decision Notice.

2.3 The following related documents are set out in the appendices to the report: -

Appendix 1 - Notice of Review documentation;

Appendix 2 - Report of Handling;

Appendix 3 - Location Plan; and

Appendix 4 - Planning Decision Notice;

3. Proposals

3.1 The Local Review Body is invited to consider the Notice of Review.

4. Implications/Socio-economic Duty

Financial

4.1 None arising from the recommendation of this report.

Human Resources

4.2 None arising from the recommendation of this report.

Legal

4.3 The Notice of Review requires to be considered in terms of the Town and Country Planning (Scotland) Act 1997, as amended by the Planning (Scotland) Act 2006, and the Town and Country Planning (Schemes of Delegation and Local Review Procedure) (Scotland) Regulations 2013.

Equality/Socio-economic

4.4 None arising from the recommendation of this report.

Environmental and Sustainability

4.5 None arising from the recommendation of this report.

Key Priorities

4.6 None arising from the recommendation of this report.

Community Benefits

4.7 None arising from the recommendation of this report.

5. Consultation

5.1 No representations were received from interested parties or statutory consultees to the planning application and therefore no further consultation was required in terms of the Notice of Review.

Craig Hatton
Chief Executive

For further information please contact **Angela Little, Committee Services Officer**, on **01294 324132**.

Background Papers

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06.09.21

Department of Planning,
North Ayrshire Council,
Cunninghame House,
Irvine.

Dear Sir/Madam,

**Proposed Alterations & Extension to Front of Dwelling House at:
33, Blairlands Drive, Dalry. KA24 4DH
Mr. & Mrs. C. Lawson.**

Planning Ref : 21/00419/PP

In support of a Notice of Review application for the above development please find enclosed:

- A) Notice of Review Application Form
- B) Supporting documents for Notice of Review Application

I trust the enclosed meets with your requirements and I await your response in due course.

Yours faithfully,

A solid black rectangular box used to redact the signature of the sender.

NOTICE OF REVIEW

Under Section 43A(8) Of the Town and County Planning (SCOTLAND) ACT 1997 (As amended) In Respect of Decisions on Local Developments

The Town and Country Planning (Schemes of Delegation and Local Review Procedure) (SCOTLAND) Regulations 2013

The Town and Country Planning (Appeals) (SCOTLAND) Regulations 2013

IMPORTANT: Please read and follow the guidance notes provided when completing this form. Failure to supply all the relevant information could invalidate your notice of review.

PLEASE NOTE IT IS FASTER AND SIMPLER TO SUBMIT PLANNING APPLICATIONS ELECTRONICALLY VIA <https://www.eplanning.scot>

1. Applicant's Details		2. Agent's Details (if any)	
Title	MR. & MRS.	Ref No.	
Forename	CRAIG	Forename	
Surname	LAWSON	Surname	
Company Name		Company Name	
Building No./Name	33	Building No./Name	
Address Line 1	BLAIRLANDS DRIVE	Address Line 1	
Address Line 2	DALRY	Address Line 2	
Town/City	NORTH AYRSHIRE	Town/City	
Postcode	KA24 4DH	Postcode	
Telephone		Telephone	
Mobile		Mobile	
Fax		Fax	
Email		Email	
3. Application Details			
Planning authority	NORTH AYRSHIRE COUNCIL		
Planning authority's application reference number	21/00419/PP		
Site address	<div style="border: 1px solid black; padding: 5px; min-height: 100px;"> 33, BLAIRLANDS DRIVE, DALRY. KA24 4DH </div>		
Description of proposed development	<div style="border: 1px solid black; padding: 5px; min-height: 50px;"> ALTERATIONS & EXTENSION TO FRONT OF DWELLING HOUSE. </div>		

Date of application

05 | 05 | 2021

Date of decision (if any)

23 | 06 | 2021

Note. This notice must be served on the planning authority within three months of the date of decision notice or from the date of expiry of the period allowed for determining the application.

4. Nature of Application

Application for planning permission (including householder application)

Application for planning permission in principle

Further application (including development that has not yet commenced and where a time limit has been imposed; renewal of planning permission and/or modification, variation or removal of a planning condition)

Application for approval of matters specified in conditions

5. Reasons for seeking review

Refusal of application by appointed officer

Failure by appointed officer to determine the application within the period allowed for determination of the application

Conditions imposed on consent by appointed officer

6. Review procedure

The Local Review Body will decide on the procedure to be used to determine your review and may at any time during the review process require that further information or representations be made to enable them to determine the review. Further information may be required by one or a combination of procedures, such as: written submissions; the holding of one or more hearing sessions and/or inspecting the land which is the subject of the review case.

Please indicate what procedure (or combination of procedures) you think is most appropriate for the handling of your review. You may tick more than one box if you wish the review to be conducted by a combination of procedures.

Further written submissions

One or more hearing sessions

Site inspection

Assessment of review documents only, with no further procedure

If you have marked either of the first 2 options, please explain here which of the matters (as set out in your statement below) you believe ought to be subject of that procedure, and why you consider further submissions or a hearing necessary.

7. Site inspection

In the event that the Local Review Body decides to inspect the review site, in your opinion:

Can the site be viewed entirely from public land? - NO

Is it possible for the site to be accessed safely, and without barriers to entry? - NO

If there are reasons why you think the Local Review Body would be unable to undertake an unaccompanied site inspection, please explain here:

ACCESS TO THE REAR OF 33, BLAIRCANOS DRIVE, IS ONLY VIA A LOCKED GATE TO THE SIDE.

8. Statement

You must state, in full, why you are seeking a review on your application. Your statement must set out all matters you consider require to be taken into account in determining your review. Note: you may not have a further opportunity to add to your statement of review at a later date. It is therefore essential that you submit with your notice of review, all necessary information and evidence that you rely on and wish the Local Review Body to consider as part of your review.

If the Local Review Body issues a notice requesting further information from any other person or body, you will have a period of 14 days in which to comment on any additional matter which has been raised by that person or body.

State here the reasons for your notice of review and all matters you wish to raise. If necessary, this can be continued or provided in full in a separate document. You may also submit additional documentation with this form.

PLEASE SEE ATTACHED DOCUMENT.

Have you raised any matters which were not before the appointed officer at the time your application was determined? Yes No

If yes, please explain below a) why your are raising new material b) why it was not raised with the appointed officer before your application was determined and c) why you believe it should now be considered with your review.

9. List of Documents and Evidence

Please provide a list of all supporting documents, materials and evidence which you wish to submit with your notice of review

- SUPPLEMENTARY DOCUMENT FOR SECTION 8 OF NOTICE OF REVIEW FORM.
- JUSTIFICATION STATEMENT AS SUBMITTED DURING APPLICATION PROCESS, INCLUDING THE LETTER OF SUPPORT FROM THE NEIGHBOUR.
- EXTRACTS FROM APPROVED APPLICATION 20/0040/PP.
- DRAWINGS AS SUBMITTED WITH OUR APPLICATION.

Note. The planning authority will make a copy of the notice of review, the review documents and any notice of the procedure of the review available for inspection at an office of the planning authority until such time as the review is determined. It may also be available on the planning authority website.

10. Checklist

Please mark the appropriate boxes to confirm that you have provided all supporting documents and evidence relevant to your review:

Full completion of all parts of this form

Statement of your reasons for requesting a review

All documents, materials and evidence which you intend to rely on (e.g. plans and drawings or other documents) which are now the subject of this review.

Note. Where the review relates to a further application e.g. renewal of planning permission or modification, variation or removal of a planning condition or where it relates to an application for approval of matters specified in conditions, it is advisable to provide the application reference number, approved plans and decision notice from that earlier consent.

DECLARATION

I, the applicant/agent hereby serve notice on the planning authority to review the application as set out on this form and in the supporting documents. I hereby confirm that the information given in this form is true and accurate to the best of my knowledge.

Signature:



Name:



Date:

8/9/21

Any personal data that you have been asked to provide on this form will be held and processed in accordance with Data Protection Legislation.

06.09.21

Dear Local Review Body,

**Proposed Alterations & Extension to Front of Dwelling House at:
33, Blairlands Drive, Dalry. KA24 4DH
Mr. & Mrs. C. Lawson.**

Planning Ref : 21/00419/PP

In accordance with Section 8 of the Notice of Review, which requires a statement of why the review is being sought after, we would like to request that the following be taken into consideration in determining this application.

We believe that there are inconsistencies within the planning process which have been highlighted with this application. Prior to the submission of a formal planning application, we went through the process of pre-application discussions with North Ayrshire Council's planning department, in order to gauge if our proposal would likely be granted approval. We completed this process as we were aware that our proposal did not fall within permitted development rights.

Prior to making our pre-application enquiry, we had given extensive thought and consideration to an extension to the rear of our property but felt that this was not the best solution for our requirements. We felt the most beneficial place for our needs, was an extension to the front and this is what led us to making the pre-application enquiry.

For clarification, our reasons for requiring our proposal to the front were as follows;

- There is a public sewer in close proximity to the rear wall of our house and the cost of building over the sewer pipe wouldn't be necessary if the proposal was to the front.
- The floor level to ground level difference at the rear of the property is significantly greater than it is to the front, therefore an extension to the rear would involve a lot more underbuilding, again, a cost that we feel is unnecessary.
- Our rear garden is not very large and we have recently spent a great deal of finances and effort in upgrading our back door to a low maintenance garden. This included the installation of a decking / patio area as well as the addition of a small outbuilding to the side / rear of the property. We enclosed the whole garden with a wall to increase our own privacy and privacy to our neighbours. The additional footprint of an extension to the rear would furthermore reduce our private amenity space.

During our pre-application discussions, our enquiry was handled with by a different planning officer than the one who ended up handling our formal application. The planning officer in the pre-application discussions had suggested that we consider the proposal to the rear of the property, however, as we had already considered this, we put our reasons of why we wanted an extension to the front to the planning officer, we felt that they were accepted by him. In his final email to me, he stated that *'the proposed front extension would be relatively modest in size and would draw upon the existing characteristics of the main house and the surrounding properties'*, going on to say that *'it may be considered that whilst the extension would be widely visible, it would not give rise to any significant visual impacts to the area and would be acceptable.'*

The concern of the proximity of the proposal to the neighbouring property was initially raised during the pre-application discussions however, this was addressed by a reduction in the size of the proposed extension projecting from the front of the building. This resulted in the design as submitted for the formal application.

Once the formal application was submitted, a new planning officer was assigned to assess the application as submitted. The new planning officer raised the same issues as before however, he did not appear to be of the same opinion as that of the officer in the pre-application discussions. We were once again asked to consider an extension to the rear.

It is here that the inconsistencies in the planning process became apparent to us, as it would appear that there is a difference of opinion between the planning officer who handled the pre-application enquiry and the planning officer who handled the formal planning application. Two planning officers' looking at the same extension arrive at a different conclusion.

During the application period and after deliberations with the planning officer, a Justification Statement was prepared for the design proposal as it had been submitted. We feel that the Justification Statement has been misinterpreted, which in part, has perhaps contributed to the outcome of the application.

We received an email from the planning officer on the 14th May 2021, in which, he asked that we '*consider amending our proposal to provide a rear extension*', going on to state that our proposal '*would introduce an unexpected feature in the street that would also harm the amenity of our next door neighbour in terms of sunlight and daylight*'.

In the Report of Handling, the planning officer refers to the '*various front extension precedents in the wider area*,' going on to state that '*of the 7 examples in the supporting statement 6 are significantly offset from the boundary*'. The 7 examples were **not** intended to be an argument against the Placemaking Policy, as we believe they have been taken as. The idea behind the 7 examples highlighted in the supporting statement was, to identify that there are properties in the immediate vicinity of the application site which have front extensions. This was to counter his previous comment made in his email of the 14th May 2021.

To our knowledge, the examples highlighted in the supporting statement all have obtained planning permission, some of which are/were the first in their respective streets to have front extensions.

We believe that the planning officer's main objection with our proposal, is the proximity of our proposed extension to the neighbouring properties front Lounge window. The neighbouring property is a handed version of our property, with a Lounge window to both front and rear elevations. Any shadowing caused by the proposed extension to the front, in our opinion, would be less significant than that of the same extension to the rear of the property due to the sun path, as an extension to the rear, would also give shadow over the rear Lounge window.

Our understanding of planning policies is that the rear of any property is deemed to be the private amenity space associated with the respective property. We have the luxury of having our private amenity space facing in a westerly direction, as do our neighbours, therefore, an extension on the North boundary to the rear (facing West) we feel would have a detrimental impact on the private amenity space to our neighbour. This was also a concern that our neighbour, Gordon, raised in his letter of support.

Having lived in this house for nearly 10 years now, we have very good knowledge of where we get the best of the sunshine when possible. The front of our house is orientated facing in a South Easterly direction, meaning that the best of the evening sunshine is on our back door, the private amenity space.

After the planning officer's suggestion of relocating the proposed extension to the rear during the application process, we had further discussions with our neighbour Gordon, however, both ourselves and our neighbour were not happy with this idea because we all believed that it would be more invasive on Gordon's privacy. This is why it's Gordon's preference to have the proposed extension to the front rather than to the rear and subsequently resulted in him writing his letter of support at this time.

On page 8 of the Justification Statement, there was reference to an application which had been submitted to North Ayrshire Council on 15th, January 2020 for the Erection of a Single Storey Extension to the Front of Terraced Dwelling House at 25, Cramond Place, Broomlands, Irvine. With a reference number of **20/00040/PP**. The aforementioned application was approved under delegated powers with no conditions attached on 7th February 2020.

Our reason for having mentioned this application was that there are, in our opinion, many common similarities between that application which was approved and our proposal which was still under consideration. We felt the similarities between the applications answered the issues raised in relation to the Placemaking Policy.

To clarify, the similarities between each application are as follows;

- Both applications are for an extension to the front of the dwelling
- Both properties have an adjoining neighbour to the North of the application site giving the same sun path
- Both proposed extensions are building up to their North boundary line
- Both properties front on to the public street
- Both properties lay within a street where there are no extensions to the front of any neighbouring properties, therefore making each one the first in the street to have such
- The building line of each property is in line with the attached neighbour to the North

Our proposal is no larger in scale, in fact it is smaller in all aspects. Comparing them both, the approved extension is projecting 4.5m from the front of the existing dwelling, our proposal is to project 2.43m, that's a difference of over 2m shorter than the approved. The approved extension is 4.5m wide, ours is 3.8m wide and the overall height of the approved extension (where adjoining the original dwelling) is 3.81m ours is proposed to be at 3.8m.

In the planning officer's Report of Handling for our application, there was no reference made to any of the obvious similarities between each of the applications, even though these were highlighted in the Justification Statement, does that mean that the planning officer does not consider there to be similarities?

The neighbouring property for the application for Cramond Place did not have a Lounge window within 600mm of the proposed extension, however, due to the sun path we believe that the area to the front, is the more frequently used space for sitting out to enjoy the sunshine, when they are given the opportunity to do so, therefore, in our opinion, the approved extension for Cramond place will have a more detrimental impact on the amenity of the neighbour to the North, than what our extension would have on our neighbour to the North because of the sun path.

The planning officer stated in the Report of Handling that '*Although the letter of support from the current occupier of the adjoining property is noted, the placemaking policy of the LDP requires proposals to respect the amenity of both existing and future users*'. During the mid 1900's the council, not just North Ayrshire but councils all over Scotland were building properties which have a porches to the front of the dwellings, these properties were built in a regularised fashion and not in a handed way.

This resulted in porches being less than 600mm from the neighbouring properties Lounge window. These dwellings were orientated in all directions resulting in porches being built on the North boundary with a Lounge window less than 600mm from the neighbours porch, the distance is most cases is nearer 200mm. The following photographs on the following pages, are examples of the property styles noted above.

Since then, private house builders have also been building new build properties with porches to the front, which are within close proximity to the neighbouring properties lounge window, as some of the examples in the following pages demonstrate.



Picture 01 – Blair Road, Dalry. These dwellings are facing North East.



Picture 02 – St. Brennans Court, Kilbirnie. These dwellings are facing East.



Picture 03 – Chapelhill Mount – Ardrossan. These dwellings are facing West.



Picture 04 – Dalry Road, Saltcoats. These dwellings are facing West.



Picture 05 – Dennyholm Wynd, Kilbirnie. These dwellings are facing East

The following street names are streets in the towns of Dalry and Kilbirnie which have properties built in this fashion, however, as mentioned previously, these house styles are repeated throughout Scotland;

Dalry:

Blair Road (the main road leading to Blairlands Drive), Kingsway, Reddance Terrace, Craig Avenue, Brodlie Drive, Wingfaulds Avenue.

Kilbirnie:

Place View, Ladeside Crescent, Hagthorn Avenue, Manuel Court, Avils Hill, Bathville Road, Garnock Court, Sunderland Court, St Brennans Court, Loadingbank, Briery Court, Loadingbank Court.

We appreciate that the styles of buildings highlighted on the preceding pages were done a long time ago and under different planning policies from which today's applications are subject to, however, our point is that, any existing or future user of these properties is well aware of the close proximity of the porch to the Lounge window to the front of the dwelling. If our proposal was approved then the neighbour at number 35, Blairlands Drive, current and future, would be no different from the thousands of home owners and tenants in these types of properties.

We respectfully request that all of the enclosed information is taken in to account during your deliberations and hope that your findings are in our favour.

Yours faithfully,

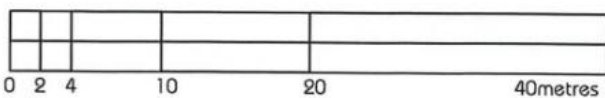
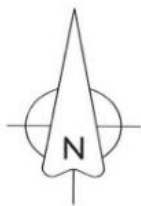
Mr. & Mrs. C. Lawson.



Location of proposed development.

Area of proposed extension shown hatched.

This is a true copy of the drawings referred to in the application.
Signature :



SCALE 1:500

Block Plan

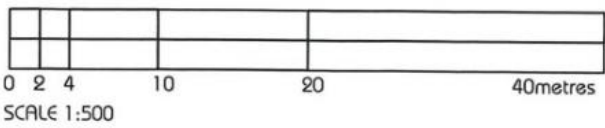
Client. Mr. & Mrs. C. Lawson.		Title. As Proposed	
Address. Proposed Alterations & Extension to House at: 33, Blairlands Drive, Dalry. KA24 4DH		Date. Apr. 21'	Drawing No. PL 01
		Scale. A4 @ 1:500	



Location of proposed development.

This is a true copy of the drawings referred to in the application.
Signature :

Block Plan

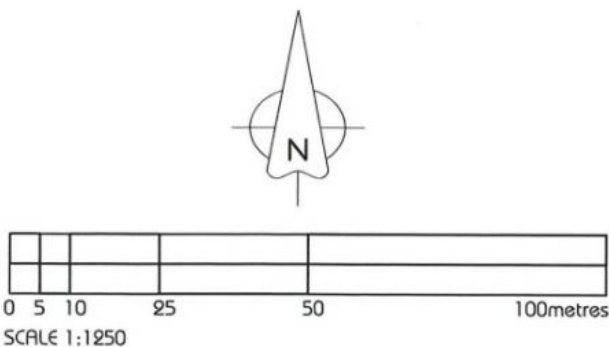


Client. Mr. & Mrs. C. Lawson.		Title. As Existing	
Address. Proposed Alterations & Extension to House at: 33, Blairlands Drive, Dalry, KA24 4DH		Date. Mar. 21'	Drawing No. € 01
		Scale. A4 @ 1:500	



This is a true copy of the drawings referred to in the application.
Signature :

Location Plan



Client. Mr. & Mrs. C. Lawson.		Title. As Existing	
Address. Proposed Alterations & Extension to House at: 33, Blairlands Drive, Dalry. KA24 4DH		Date. Mar. 21'	Drawing No. € 00
		Scale. A4 @ 1:1250	

**Justification Statement
&
Letter of Support**

02.06.21

Dear Marc,

**Proposed Alterations & Extension to Front of Dwelling House at:
33, Blairlands Drive, Dalry. KA24 4DH
Mr. & Mrs. C. Lawson.**

Planning Ref : 21/00419/PP

In support of the recently submitted planning application with the above reference number and in response to your email dated 17/05/21 I would request that this justification statement be considered as part of the application.

As was previously mentioned there have been pre-application discussions carried out regarding the proposal with Mr. Joseph Thompson. There have been several emails sent between us regarding the design with changes being made as per comments received, eventually arriving at the design as submitted. In Mr. Thompson's final email he mentioned that *'it may be considered that whilst the extension would be widely visible, it would not give rise to any significant adverse visual impacts to the area and would be acceptable.'*

I do appreciate and understand that comments made during conversations carried out in pre-application discussions are all subject to a formal application being submitted and any final decisions are reserved for such.

In your email of the above date, to my understanding there are two main elements of the proposal that are of concern to yourself. Firstly, in your own words *'I find the proposal to be unacceptable in visual quality terms'*. I accept that this would be the first property in the street of Blairlands Drive with an extension to the front of the dwelling however, there are examples of the same in the immediate vicinity, please see 'Picture 1 and Picture 2' below.

Picture 1 – View looking East, North East from standing outside No. 37 Blairlands Drive, Dalry. As highlighted in the red circle you can see an extension to the front of No. 63, Stoopshill Crescent, Dalry.



Picture 2 – A view standing at the junction of Blairlands Drive and Stoopshill Crescent to the North of the application site. The application dwelling is in the yellow oval and in the red circle is a property with an extension to the front of similar scale to that of our proposal.



Stoopshill Crescent is the main link road in a horseshoe shape connecting East and West side of Blair Road around the North side, this is also part of the local bus route. Blairlands Drive, is a secondary road accessed only from Stoopshill Crescent therefore, I would say that properties on Stoopshill Crescent are in a more prominent location than those in Blairlands Drive given that they are part of the primary road system. These dwellings are subject to much more traffic and passing public than that of Blairlands Drive.

The pictures on the following pages are all examples of other extensions to the front of their respective dwellings in the local area to Blairlands Drive.



Picture 3 – Stoopshill Crescent, Dalry.

This is the same extension as noted in Picture 2 looking directly at the dwelling.

Here you can see the extension is larger than 50% of the total width of the original dwelling.



Picture 4 – Stoopshill Crescent, Dalry.

This is the same extension as noted in Picture 1 taken from a closer distance. This extension was finished to match the main part of the dwelling however, this has now since been changed leaving the extension with a timber clad finish, no longer matching the main dwelling.



Picture 5 – Stoopshill Crescent, Dalry.

This is the same extension as noted in Picture 1 & 4 taken from a different angle.



Picture 6 – Stoopshill Crescent, Dalry.

This extension formed with a flat roof and horizontal cladding stands out from the main dwelling in an unsympathetic way.

Granted permission in May 2019.



Picture 7 – Stoopshill Crescent, Dalry.

This is the same extension as noted in Picture 6 taken from a different angle.

Here you can see the extension is larger than 50% of the total width of the original dwelling.



Picture 8 – Stoopshill Crescent, Dalry.

This dwelling has been significantly altered from its original form, with the large storey and a half side extension helping to disguise the size of the extension to the front of the dwelling.

Granted permission in 2014.



Picture 9 – Stoopshill Crescent, Dalry.

This is the same extension as noted in Picture 8 taken from a different angle.

The front extension is finished with the same materials as the main dwelling and side extension.



Picture 10 – Blairlands Avenue, Dalry.

This dwelling is also located on the main link road off Blair Road and part of the local bus route, making it in a more prominent location than our house.

This extension is also built on the North boundary of the property shadowing the neighbouring entrance door.



Picture 11 – Cleeves Avenue, Dalry.

This extension to the front of the dwelling is done so to a property of the same style as ours, finished with materials to match the original dwelling.

Cleeves Avenue is a secondary road accessed only from Blairlands Avenue.

This is the only dwelling in the street with an extension to the front.



Picture 12 – Cleeves Avenue, Dalry.

This is the same extension as noted in Picture 11 taken from a different angle.



Picture 13 – Kerse Avenue, Dalry.

This is a large extension to the front and side of a dwelling granted permission in 2006, again, the extension is finished with materials to match the existing dwelling in a sympathetic manner.

Both of the existing extensions highlighted in Pictures 1, 2, 3, 4 and 5 are located within 70m of the application site. All other examples shown are within the general vicinity of Blairlands Drive as shown in the map extraction below in the green and yellow circles. The application site is outlined in red.



In the second element of your email, which I believe to be of concern to you about our proposal, is that upon your examination of the application as submitted you feel that the proposal *'would adversely affect the adjoining property in terms of sunlight and daylight, given that this property is located to the north of no. 33'* and your advice is to relocate the proposed extension to the side or rear of the property.

At this time, I would like to bring your attention to an application that was submitted to and approved by North Ayrshire Council last year, the application reference number is **20/00040/PP**.

This application was granted approval under delegated powers with no conditions attached and I believe the approved application bears a similar resemblance to our proposal, in the following manner:

- Both applications are for an extension to the front of the dwelling
- Both properties have an adjoining neighbour to the North of the application site giving the same sun path
- Both proposed extensions are building up to their North boundary line
- Both properties front on to the public street
- Both properties lay within a street where there are no extensions to the front of any neighbouring properties, therefore making each one the first in the street to have such
- The building line of each property is in line with the attached neighbour to the North

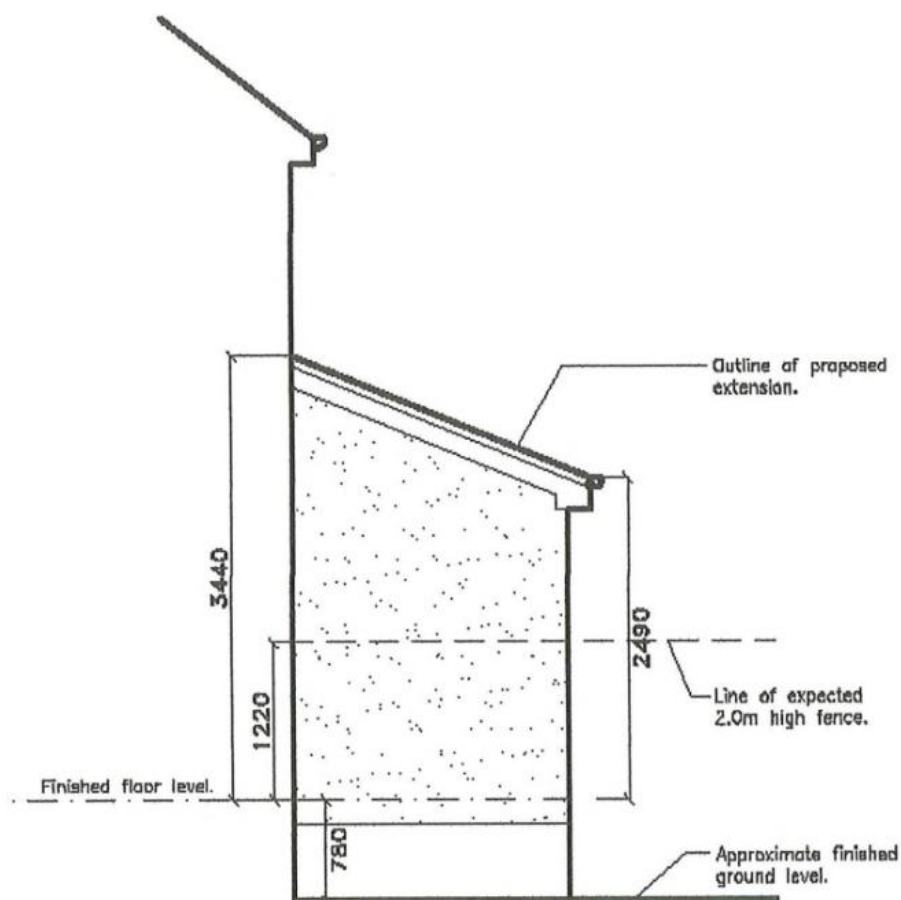
As far as differences between each application they are as follows;

- The street side of the approved application is to the West of the application site whereas our street is to the East
- The approved application is projecting 4.5m out from the front line of the existing dwelling, ours is 2.4m
- The highest point of our proposal is approximately 400mm below that of the approved application.

I believe that this is a very good example for comparison as the effects on the neighbouring properties are very similar. Given that the application noted above was granted approval without conditions under delegated powers, I question why our proposal is being scrutinised in such a way.

In your email, you also noted that 'An extension to the rear, where there is an expectation of 2.0m high boundary fence, would not have the same impact on the adjoining property in terms of sunlight and daylight'.

The existing finished ground level to the rear of the properties is approximately 780mm below the existing finished floor level of the dwelling, with both properties formed at the same level as each other. If there was a 2.0m high fence to the rear, then this would only be 1.220m above the finished floor level, however, if the same extension as submitted was relocated to the rear of the property, then the highest point of the extension would be 3.440m above finished floor level and the lowest point being 2.490m above, both of these heights are much greater than the 1.220m of an expected boundary fence. Please see diagram below showing the impact a proposed extension formed to the rear would have on the neighbouring property.



As the rear of the adjoining property is the best location for the evening sunlight and the 'private' amenity then a proposed extension located here, in my opinion would have a more adverse affect on the property than that of an extension to the front, as proposed.

We have spoken in great detail with our neighbour Gordon about the proposal submitted. Gordon has insisted that he has no issues with the proposed extension to the front and he has written his own letter of support for the proposed extension, which I enclose. I appreciate that Gordon is not the owner of the neighbouring property however as the present occupier, this proposal has the greatest impact on his amenity.

I have always believed that the planning process is very much a subjective / opinionated process however, the guidelines of the planning policies are set out with the aim of achieving a level of consistency throughout applications. As much as the example of the application 20/00040/PP is not located within the same town as our dwelling it is still within the same council district and has been approved against the same policies that apply to our proposal.

I hope that the enclosed information is given a fair assessment and that perhaps your current view on our proposal is altered to a more favourable outlook for the application that we have submitted.

Yours faithfully,



Mr. & Mrs. C. Lawson.

Marc Miller
Assistant Planning Officer
Planning Services
North Ayrshire Council
Cunninghame House
Irvine
KA12 8EE

Mr Gordon Harkins
35 Blairlands Drive
Dalry
KA24 4DH

Planning Ref: 21/00419/PP

**Proposed Alterations & Extension to Front of Dwelling House at:
33 Blairlands Drive, Dalry, KA24 4DH
Mr & Mrs. C Lawson**

Dear Marc,

I am writing to you in support of the planning application listed above as the current occupant of the neighbouring adjoining house to which this application applies.

I have received my notice from the local planning authority regarding the proposed changes to the property next door belonging to my neighbours Mr & Mrs Lawson, and I have no objections to the proposed design, layout, or location shown in the proposal.

The proposed extension is a single story, and relatively small in size – similar to other extensions in the local area situated at the front of properties.

I have spoken to my neighbour Mr Craig Lawson in detail regarding the proposed extension and he has notified me of your concerns regarding the application. I agree with my neighbour Craig that an extension to the back would not be possible as the drop in floor level would make an extension to the back of his property extremely high – possibly blocking natural light to the back of my property which is South facing and in the natural sun path.

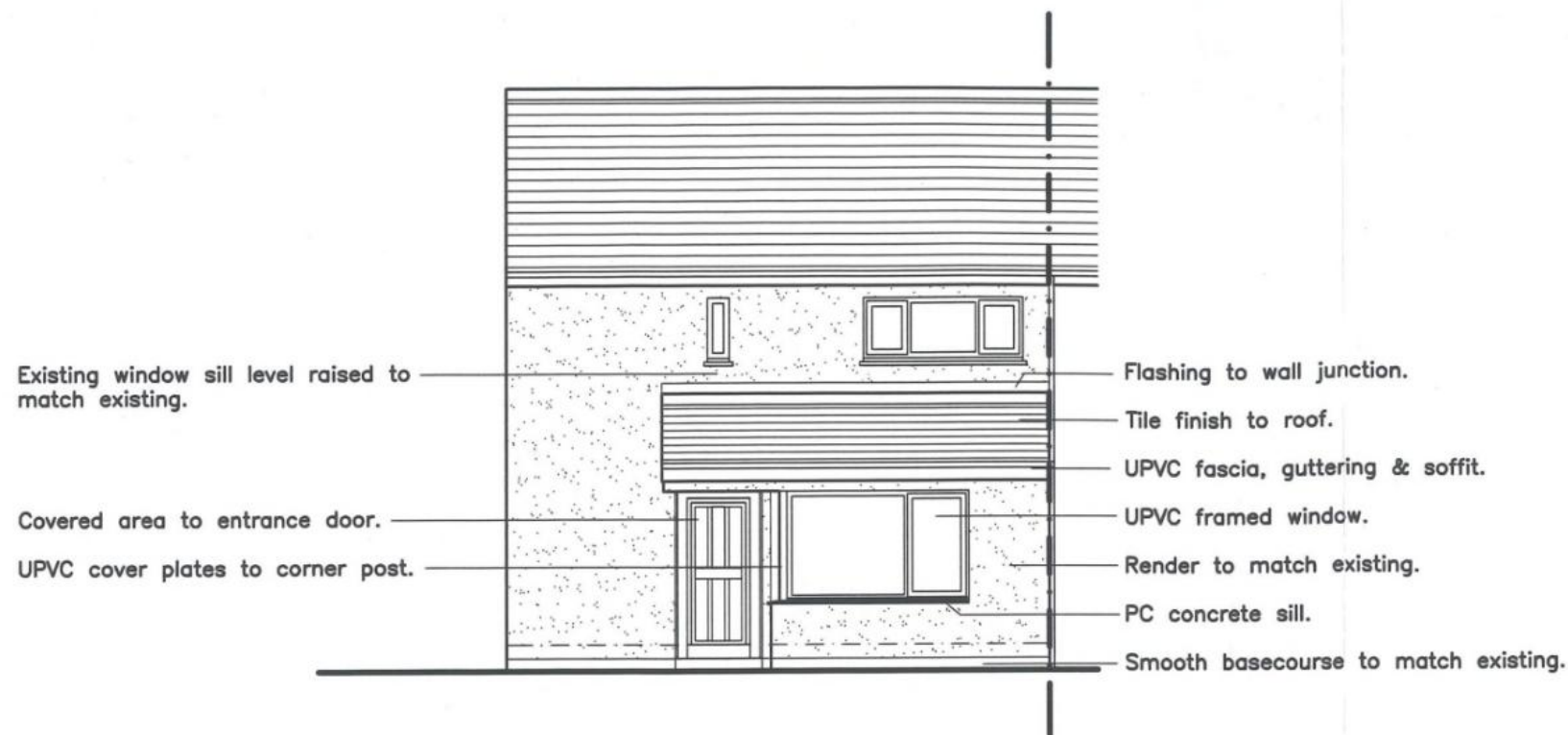
I also agree with Mr Craig Lawson that the current proposed design for the extension to the front is also in keeping with the aesthetic of the area, and similar to other extensions to the front of properties in neighbouring streets.

I wish to support the aforementioned application on the following grounds:

1. No loss of natural light to the front of my property.
2. The loss of natural light to the back of my property (if proposal is changed to the back as you requested)
3. The loss of privacy to the back of my property (if proposal is changed to the back as you requested)
4. The extension is small, in-keeping with the surrounding area, and finished to a high quality.

Kind Regards,

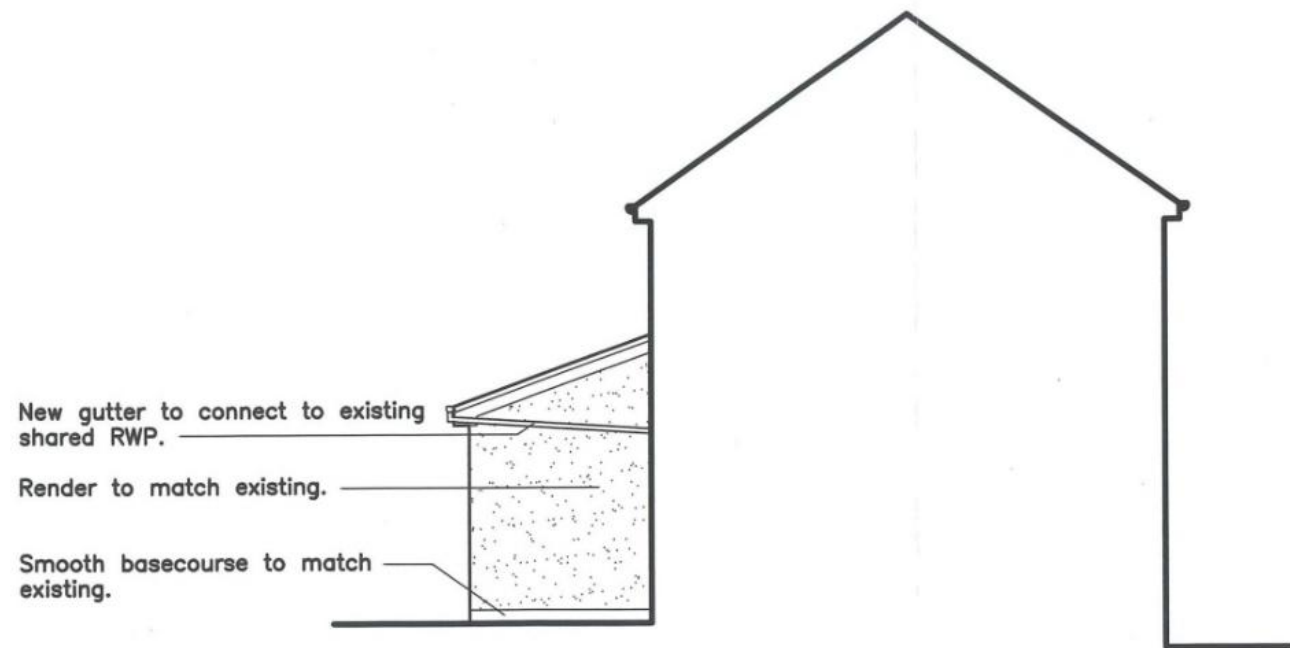

Mr Gordon Harkins



South East

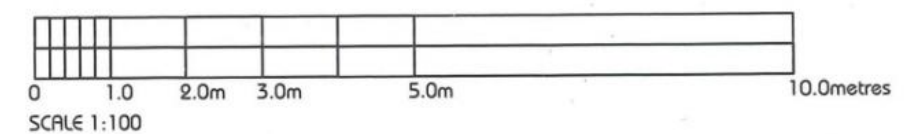


South West



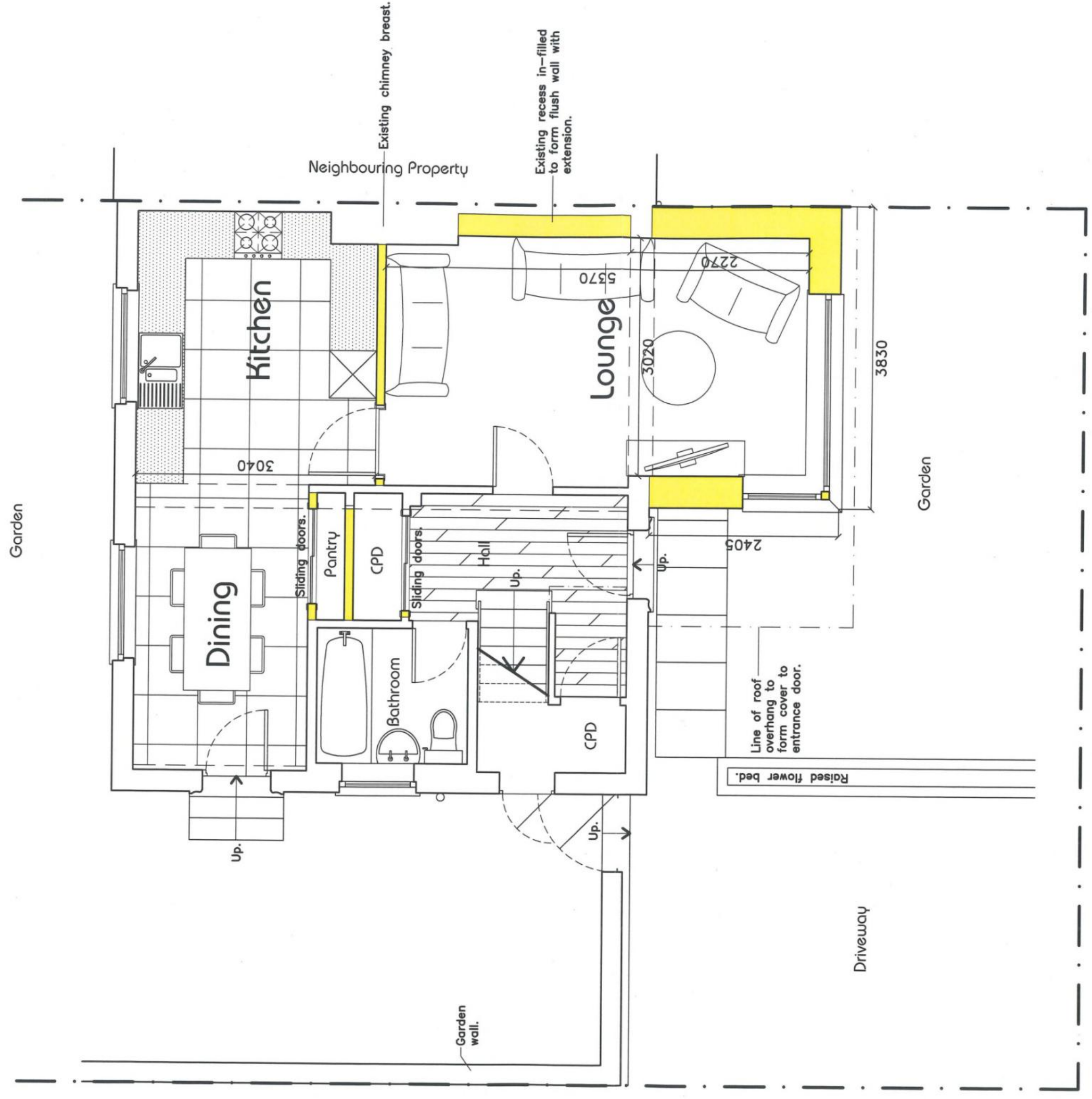
North East

This is a true copy of the drawings referred to in the application.
Signature :

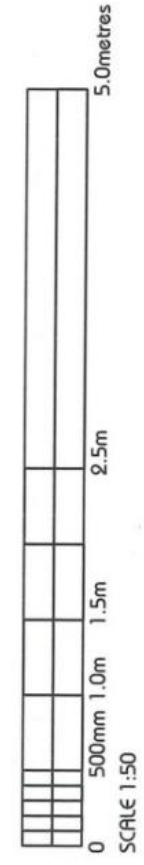


Elevations

Client. Mr. & Mrs. C. Lawson.	Title. As Proposed	
Address. Proposed Alterations & Extension to House at: 33, Blairlands Drive, Dalry. KA24 4DH	Date. Apr. 21'	Drawing No. PL 03
	Scale. A3 @ 1:100	



This is a true copy of the drawings referred to in the application.
Signature :



Ground Floor Plan

Client. Mr. & Mrs. C. Lawson. Address. Proposed Alterations & Extension to House at: 33, Blairlands Drive, Dalry. HA24 4DH	Title. As Proposed	Drawing No. PL 02
	Date. Apr. 21'	Scale. A3 @ 1:50

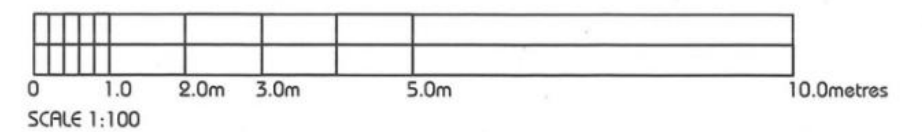


South East



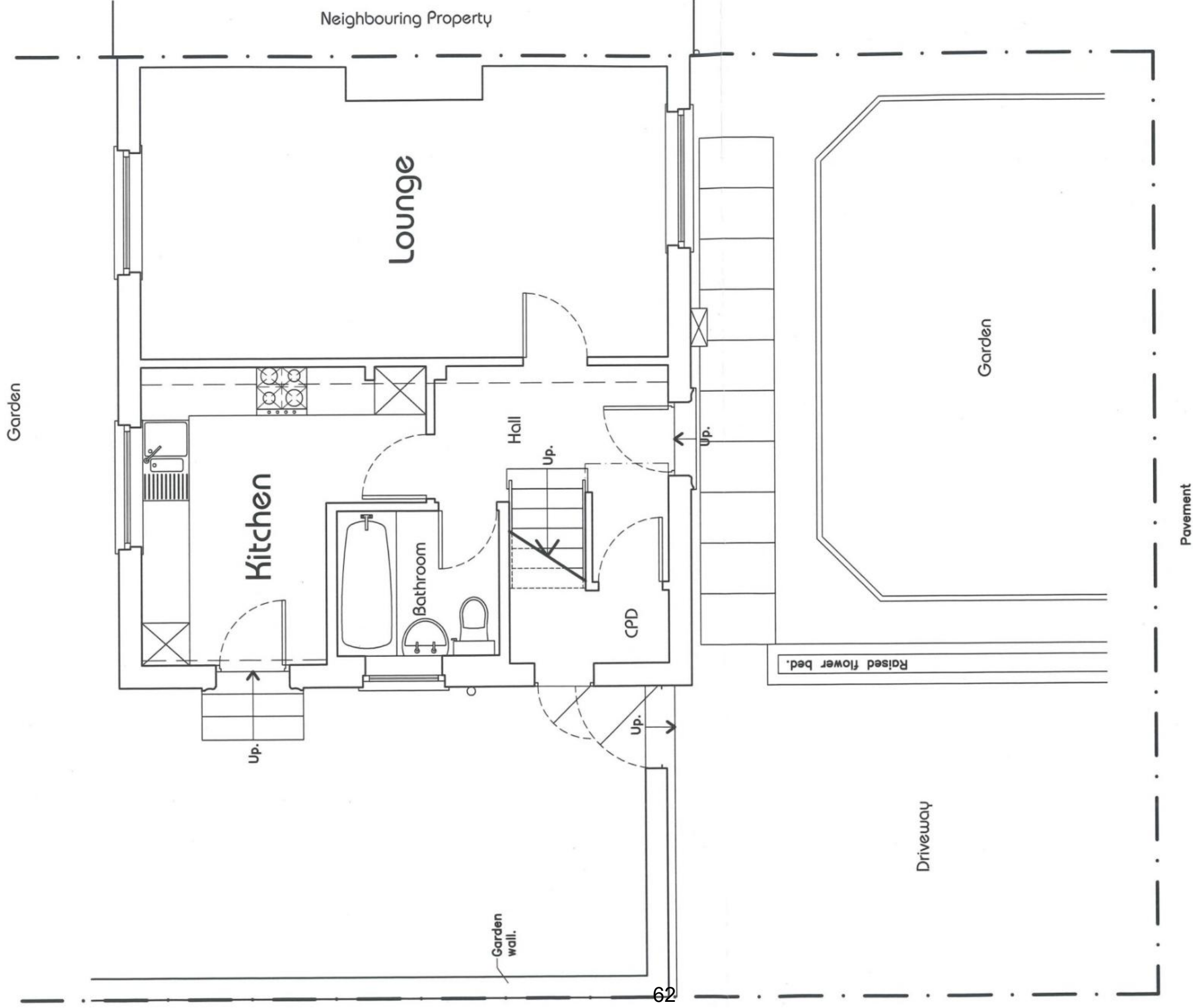
South West

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Signature :

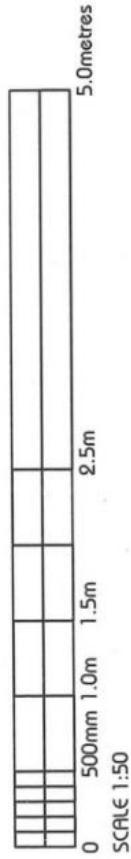


Elevations

Client. Mr. & Mrs. C. Lawson.	Title. As Existing	
Address. Proposed Alterations & Extension to House at: 33, Blairlands Drive, Dalry. KA24 4DH	Date. Mar. 21'	Drawing No. € 03
	Scale. A3 @ 1:100	



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Signature :



Ground Floor Plan

Client. Mr. & Mrs. C. Lawson. Address. Proposed Alterations & Extension to House at: 33, Blairlands Drive, Dalry. KA24 4DH	Title. As Existing	
	Date. Mar. 21'	Drawing No. € 02
	Scale. A3 @ 1:50	

REPORT OF HANDLING

North Ayrshire Council
Comhairle Siorrachd Àir a Tuath

Reference No:	21/00419/PP
Proposal:	Erection of extension to front of semi-detached dwelling house
Location:	33 Blairlands Drive, Dalry, Ayrshire, KA24 4DH
LDP Allocation:	General Urban Area
LDP Policies:	Strategic Policy 2 /
Consultations:	None Undertaken
Neighbour Notification:	Neighbour Notification carried out on 07.05.2021 Neighbour Notification expired on 28.05.2021
Advert:	Not Advertised
Previous Applications:	None
Appeal History Of Site:	None

Relevant Development Plan Policies

Strategic Policy 2

Placemaking

Our Placemaking policy will ensure we are meeting LOIP priorities to make North Ayrshire safer and healthier by ensuring that all development contributes to making quality places.

The policy also safeguards, and where possible enhances environmental quality through the avoidance of unacceptable adverse environmental or amenity impacts.

We expect that all applications for planning permission meet the six qualities of successful places, contained in this policy. This is in addition to establishing the principle of development in accordance with Strategic Policy 1: Spatial Strategy.

These detailed criteria are generally not repeated in the detailed policies section of the LDP. They will apply, as appropriate, to all developments.

Six qualities of a successful place

Distinctive

The proposal draws upon the positive characteristics of the surrounding area including landscapes, topography, ecology, skylines, spaces and scales, street and building forms, and materials to create places with a sense of identity.

Welcoming

The proposal considers the future users of the site and helps people to find their way around, for example, by accentuating existing landmarks to create or improve views (including sea views), locating a distinctive work of art in a notable place or making the most of gateway features to and from the development. It should also ensure that appropriate signage and lighting is used to improve safety and illuminate attractive buildings.

Safe and Pleasant

The proposal creates attractive places by providing a sense of security, including by encouraging activity, considering crime rates, providing a clear distinction between private and public space, creating active frontages and considering the benefits of natural surveillance for streets, paths and open spaces.

The proposal creates a pleasant, positive sense of place by promoting visual quality, encouraging social and economic interaction and activity, and by considering the place before vehicle movement.

The proposal respects the amenity of existing and future users in terms of noise, privacy, sunlight/daylight, smells, vibrations, glare, traffic generation, and parking. The proposal sufficiently investigates and responds to any issues of ground instability.

Adaptable

The proposal considers future users of the site and ensures that the design is adaptable to their needs. This includes consideration of future changes of use that may involve a mix of densities, tenures, and typologies to ensure that future diverse but compatible uses can be integrated including the provision of versatile multi-functional greenspace.

Resource Efficient

The proposal maximises the efficient use of resources. This can be achieved by re-using or sharing existing resources and by minimising their future depletion. This includes consideration of technological and natural means such as flood drainage systems, heat networks, solar gain, renewable energy and waste recycling as well as use of green and blue networks.

Easy to Move Around and Beyond

The proposal considers the connectedness of the site for people before the movement of motor vehicles, by prioritising sustainable and active travel choices, such as walking, cycling and public transport and ensuring layouts reflect likely desire lines, through routes and future expansions.

Description

Planning permission is sought for the erection of a single-storey extension to the front of the semi-detached house at 33 Blairlands Drive, Dalry. The extension would enlarge the living room of the property and would facilitate the reconfiguration of the existing ground floor layout.

The house at no. 33 was built in the 1950s by the local authority. Properties of a similar age and style are found elsewhere on Blairlands Drive and on the surrounding streets. The house at no. 33 has not been extended in the past.

On plan form, the proposed extension would project from the from the front elevation of the existing house by around 2.4m and would be around 3.8m in width. A mono-pitched roof with side facing half gables is proposed. The extension would have an eaves height of around 2.9m and would be around 3.8m high at the junction of the proposed roof and the front elevation of the existing dwellinghouse.

The roof would project from the southwest side wall of the proposed extension to provide a roof covering over the dwellinghouse's main entranceway. The other side elevation would be positioned on the shared side garden boundary with the adjoining property to the northeast.

Given the proximity of the side of the extension to the living room window of the adjoining property, amendments to the scheme were sought by the case officer to mitigate the impact on existing and of future users in terms of sunlight and daylight. In response to the suggested amendments, the applicant decided to retain the original details and submitted a supporting statement to justify the proposal as originally designed.

External finishes would consist of rendered walls above a smooth base course to match the finish of the existing dwellinghouse, a tiled roof covering of an unspecified finish, and a uPVC frames to a the proposed front and side facing windows.

In terms of the adopted Local Development Plan (LDP), the site is located within an area that is allocated as a General Urban Area. Strategic Policy 1 (Towns and Villages objective) applies to development in built up areas. The application requires to be considered in terms of the Placemaking Policy of the LDP (Strategic Policy 2).

Consultations and Representations

Neighbour notification was undertaken in accordance with statutory procedures and no consultations were required to be carried out.

No representations were received in response to the neighbour notifications but the applicant enclosed a letter of support from the present occupant of the adjoining property with their supporting statement.

Response: The letter of support is noted.

Analysis

As noted above, the application site is located within a General Urban area as defined by the adopted LDP. In principle, the extension of an existing residential property is acceptable and raises no land use policy issues in relation to the Towns and Villages Objective of Strategic Policy 1 providing that the detail of the application is considered to acceptably meet the terms of Strategic Policy 2 (Placemaking Policy).

The stated purpose of the Placemaking Policy in the LDP is to ensure "all development contributes to making quality places". It goes on to state "the policy also safeguards, and where possible enhances environmental quality through the avoidance of adverse environmental or amenity impacts." Of the six qualities of a successful place, those most relevant to this proposal are limited to 'safe and pleasant' and 'adaptable'.

The proposal would enlarge the main living space of the application property via a front extension, which would have a side elevation on the shared boundary with the adjoining property to the northeast. As the outlook from the proposed window and door openings would be over Blairlands Drive and the public elevations of nearby residential properties, the proposal would be acceptable in terms of privacy.

Given the aspect of the extension and because its side wall would be around 0.6m from the edge of the adjoining property's living room window, it is considered that the proposal would introduce a notable overshadowing effect on the nearby neighbouring window. Consequently, the proposal is considered to unacceptably respect the amenity of existing and future users of the adjoining property in terms of sunlight and daylight. Although the letter of support from the current occupier of the adjoining property is noted, the placemaking policy of the LDP requires proposals to respect the amenity of both existing and future users.

While the applicant's supporting statement makes reference to various front extension 'precedents' in the wider area, this planning application is required to be determined on its own merits in relation to the policy requirements of the adopted Local Development Plan. Past examples, such as those shown in the applicant's supporting statement, can be helpful to those devising a proposal as they show how others have sought to address the policy requirements of the time. These examples, however, do not act as a template for future development.

Notwithstanding the above, of the 7 examples of front extensions shown in the applicant's supporting statement, 6 are significantly offset from the boundary of an adjoining property. The one example that has a side elevation on a shared property boundary is a modestly sized front porch extension.

In terms of visual quality, while the external finishes are likely to be acceptable, the front extension would result in an unbalanced appearance to the semi-detached block and would not therefore accord with the requirements of Strategic Policy 2 for a proposal to promote visual quality. Given all of the above, it is considered that the siting and design of the proposed extension would have an unacceptable impact on the 'safe and pleasant' character of the surrounding area.

While the proposal indicates that the application property is 'adaptable' to the changing needs of its occupants, the proposed extension is considered to harm the original design character of this 1950s semi-detached house within a street of similar properties. The proposal is considered to be contrary to the requirements of the Strategic Policy 1 (the Spatial Strategy) and Strategic Policy 2 (the Placemaking Policy) of the LDP. There are no other material considerations. As such, planning permission should be refused.

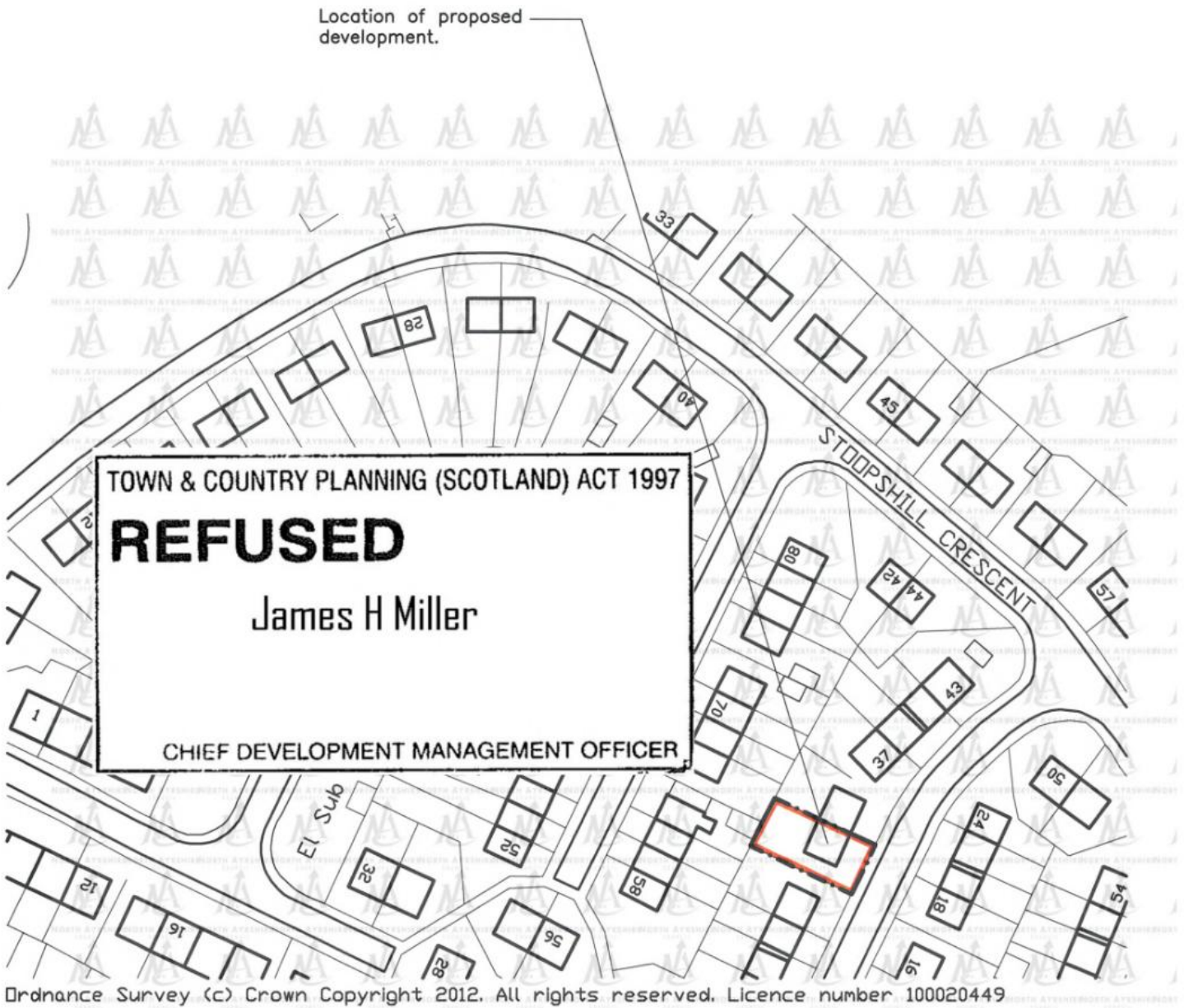
Decision

Refused

Case Officer - Mr Marc Miller

Appendix 1 - Drawings relating to decision

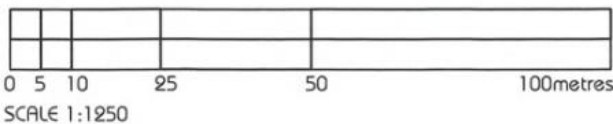
Drawing Title	Drawing Reference (if applicable)	Drawing Version (if applicable)
Location Plan		
Block Plan / Site Plan	E 01	
Existing Floor Plans	E 02	
Existing Elevations	E 03	
Proposed Plan	PL 01	
Proposed Floor Plans	PL 02	
Proposed Elevations	PL 03	



This is a true copy of the drawings referred to in the application.
Signature :



Location Plan



Client. Mr. & Mrs. C. Lawson.		Title. As Existing	
Address. Proposed Alterations & Extension to House at: 33, Blairlands Drive, Dalry, KA24 4DH		Date. Mar. 21'	Drawing No. € 00
		Scale. A4 @ 1:1250	



North Ayrshire Council
Comhairle Siorrachd Àir a Tuath

Caitriona McAuley : Head Of Service (Economic Development & Regeneration)

No N/21/00419/PP

REFUSAL OF PLANNING PERMISSION

Type of Application: Local Application

TOWN AND COUNTRY PLANNING (SCOTLAND) ACT, 1997,
AS AMENDED BY THE PLANNING ETC (SCOTLAND) ACT 2006.
TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE) (SCOTLAND) REGULATIONS
2013

To : Mr & Mrs C Lawson
33 Blairlands Drive
Dalry
Ayrshire
KA24 4DH

With reference to your application received on 5 May 2021 for planning permission under the above mentioned Acts and Orders for :-

Erection of extension to front of semi-detached dwelling house

at 33 Blairlands Drive
Dalry
Ayrshire
KA24 4DH

North Ayrshire Council in exercise of their powers under the above-mentioned Acts and Orders hereby refuse planning permission on the following grounds :-

1. The proposed extension to the front of the dwellinghouse would be contrary to the Strategic Policy 2 (the Placemaking Policy) of the adopted North Ayrshire Local Development Plan. Due to its siting, scale and design, the proposed extension would have an adverse visual impact on front of the house and on the nearby streetscene. In addition, the extension would have an adverse impact on the adjoining house due to its position on the mutual boundary and proximity to the neighbouring ground floor front window.

Dated this : 23 June 2021



.....
for the North Ayrshire Council

(See accompanying notes)



North Ayrshire Council
Comhairle Siorrachd Àir a Tuath

TOWN AND COUNTRY PLANNING (SCOTLAND) ACT 1997
AS AMENDED BY THE PLANNING ETC (SCOTLAND) ACT 2006.
TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE) (SCOTLAND) REGULATIONS
2013 – REGULATION 28

Caitriona McAuley : Head Of Service (Economic Development & Regeneration)

FORM 2

1. If the applicant is aggrieved by the decision to refuse permission for or approval required by a condition in respect of the proposed development, or to grant permission or approval subject to conditions, the applicant may require the planning authority to review the case under section 43A of the Town and Country Planning (Scotland) Act 1997 within three months from the date of this notice. The notice of review should be addressed to Committee Services, Chief Executive's Department, Cunninghame House, Irvine, North Ayrshire, KA12 8EE.
2. If permission to develop land is refused or granted subject to conditions and the owner of the land claims that the land has become incapable of reasonably beneficial use in its existing state and cannot be rendered capable of reasonably beneficial use by the carrying out of any development which has been or would be permitted, the owner of the land may serve on the planning authority a purchase notice requiring the purchase of the owner of the land's interest in the land in accordance with Part 5 of the Town and Country Planning (Scotland) Act 1997.